

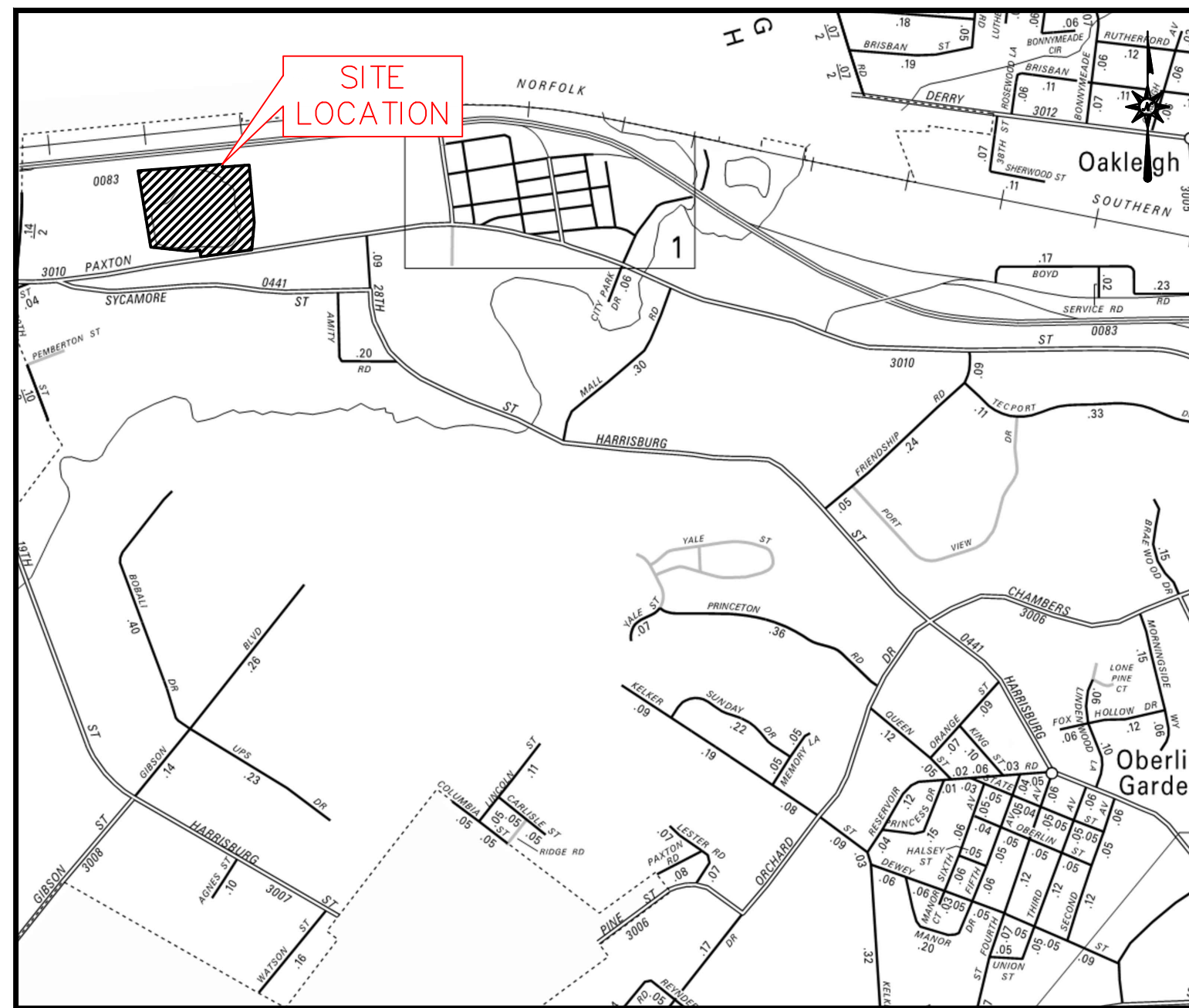
# PRELIMINARY/FINAL LAND DEVELOPMENT PLAN FOR PROPOSED TRAILER DROP LOT



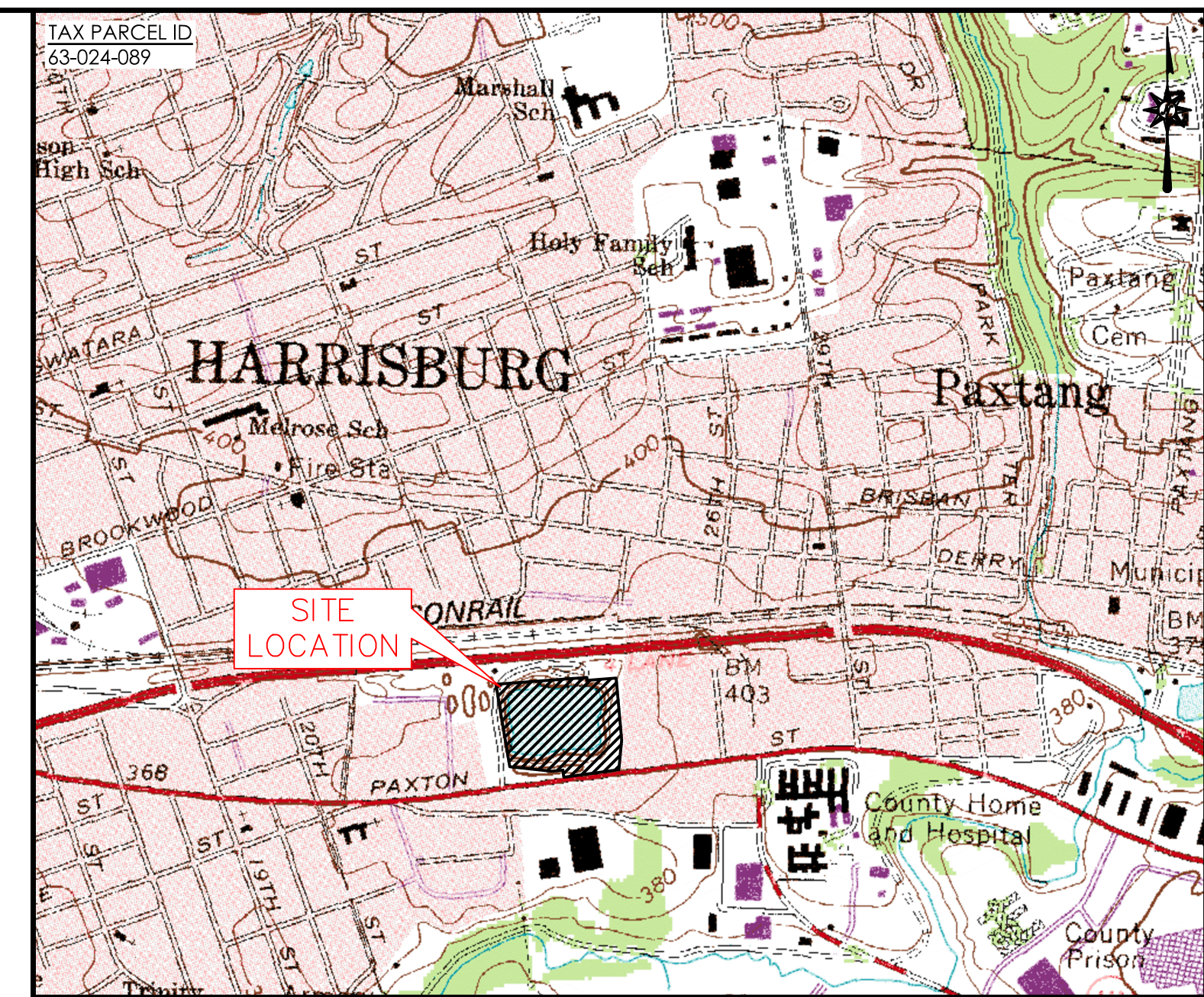
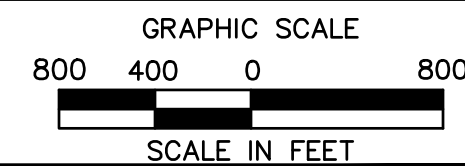
**2224 PAXTON STREET  
SWATARA TOWNSHIP, DAUPHIN COUNTY  
PENNSYLVANIA**

PREPARED FOR:  
JB HUNT TRANSPORT INC  
705A N BLOOMINGTON ST  
LOWELL, AR 72745

PREPARED BY:  
**BL Companies** ARCHITECTURE  
ENGINEERING  
ENVIRONMENTAL  
LAND SURVEYING  
2601 MARKET PLACE, SUITE 350  
HARRISBURG, PA 17110  
(717) 651-9850



LOCATION MAP



VICINITY MAP



## ACT 287 LIST OF UTILITIES

THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF ACT 287 OF 1974 AS AMENDED BY ACT 187 OF 1996 FOR NOTIFICATION OF UTILITIES BEFORE EXCAVATION IN CONTRACT AREA. THE ONE UNDERGROUND UTILITIES LOCATION CALL NUMBER IS 1-800-242-1776. SERIAL NUMBER IS 20230311139.

AT&T  
1100 3RD AVE  
ALTOONA, PA. 16602  
CONTACT: PAT SUTTON  
EMAIL: PS4364@att.com  
PHONE: 814-321-6470

FRONTIER COMMUNICATIONS OF PA INC  
300E LAIRD STWILKES BARRE, PA. 18702  
CONTACT: MICHAEL NAVICH  
EMAIL: Michael.Navich@FTR.com  
PHONE: 570-208-3375

CAPITAL REGION WATER (BW)  
3003 NORTH FRONT STREET  
HARRISBURG, PA 17110  
CONTACT: THOMAS YORK  
EMAIL: thomas.york@capitalregionwater.com  
PHONE: 717-216-5260

VERIZON PENNSYLVANIA LLC (HC)  
1026 HAY ST  
PITTSBURGH, PA 15221  
CONTACT: DEBORAH BARUM  
EMAIL: deborah.d.delta@verizon.com  
PHONE: 412-344-3901

SWATARA TOWNSHIP AUTHORITY  
8675 PAXTON STREET  
HUMMELSTOWN, PA 17036  
CONTACT: MICHAEL VARNER  
EMAIL: mvamer@swatara Township Authority-pa.gov  
PHONE: 717-566-3361 EXT. 108

LUMEN FORMERLY LEVEL 3  
1025 ELDORADO BLVD  
BROOMFIELD, CO. 80021  
CONTACT: LUMEN OPERATOR PERSONNEL  
EMAIL: RELOCATIONS@LUMEN.COM  
PHONE: 877-366-8344

VEOLIA WATER PENNSYLVANIA INC  
6319 ALLENTOWN BOULEVARD  
HARRISBURG, PA 17112  
CONTACT: CHRISTOPHER BRIDE  
EMAIL: CHRISTOPHER.BRIDE@VEOLIA.COM  
PHONE: 717-901-6317



| CCC  | Member Name                            | Response   | Response Date         | Initials   |
|------|--|--|-----------------------|------------|
| AT&T | AT&T                                   | CLEAR. NO FACILITIES OR FACILITIES NOT INVOLVED BASED ON TICKET INFORMATION. | 1/27/2023 1:02:31 PM  | SVS-WEB/VC |
| BW   | CAPITAL REGION WATER                   | CLEAR. NO FACILITIES OR FACILITIES NOT INVOLVED BASED ON TICKET INFORMATION. | 1/30/2023 9:40:01 AM  | CH-WEB/VC  |
| CI   | SWATARA TOWNSHIP AUTHORITY             | CLEAR. NO FACILITIES OR FACILITIES NOT INVOLVED BASED ON TICKET INFORMATION. | 1/30/2023 2:31:44 PM  | PZ-WEB     |
| DW   | VEOLIA WATER PENNSYLVANIA INC          | CLEAR. NO FACILITIES OR FACILITIES NOT INVOLVED BASED ON TICKET INFORMATION. | 1/27/2023 1:30:17 PM  | EZE-WEB/VC |
| FT   | FRONTIER COMMUNICATIONS OF PA INC      | CLEAR. NO FACILITIES OR FACILITIES NOT INVOLVED BASED ON TICKET INFORMATION. | 1/31/2023 1:18:54 PM  | CLS-WEB/VC |
| HC   | VERIZON PENNSYLVANIA LLC               | FIELD MARKED.  | 2/2/2023 9:40:03 AM   | AAA-WEB/VC |
| LC   | LUMEN FORMERLY LEVEL 3                 | CLEAR. NO FACILITIES OR FACILITIES NOT INVOLVED BASED ON TICKET INFORMATION. | 1/27/2023 12:47:49 PM | AAA-WEB/VC |
| PL   | ZAVO BANCOWITH FORMERLY PPL TELCOM LLC | CLEAR. NO FACILITIES OR FACILITIES NOT INVOLVED BASED ON TICKET INFORMATION. | 2/6/2023 1:49:01 PM   | AAA-WEB/VC |
| PR   | PPL ELECTRIC UTILITIES CORPORATION     | CLEAR. NO FACILITIES OR FACILITIES NOT INVOLVED BASED ON TICKET INFORMATION. | 1/31/2023 1:18:56 PM  | CLS-WEB/VC |
| SE   | COMCAST CABLE COMMUNICATIONS INC       | CLEAR. NO FACILITIES OR FACILITIES NOT INVOLVED BASED ON TICKET INFORMATION. | 1/31/2023 1:18:54 PM  | CLS-WEB/VC |
| STP  | SWATARA TOWNSHIP DAUPHIN COUNTY        | CLEAR. NO FACILITIES OR FACILITIES NOT INVOLVED BASED ON TICKET INFORMATION. | 1/27/2023 8:34:52 PM  | TW-MOBILE  |
| UT   | UGI UTIL-HARRISBURG                    | CLEAR. NO FACILITIES OR FACILITIES NOT INVOLVED BASED ON TICKET INFORMATION. | 1/31/2023 10:11:09 AM | ATS-WEB/VC |

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## PLAN APPROVAL

APPROVAL DATE

DATE THAT ALL CONDITIONS OF PLAN APPROVAL WERE MET.

ZONING OFFICER OR TOWNSHIP MANAGER

DATE

## SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THIS PLAN TO BE CORRECT AS SHOWN.

REGISTERED SURVEYOR

GREGORY L. CONDON LS No. SU032480E  
60 MAPLEWOOD LANE, ETTERS, PA 17319  
717-938-3591

## ENGINEER'S CERTIFICATION

I, ALARIC J. BUSHER, P.E., A REGISTERED PROFESSIONAL ENGINEER IN THE COMMONWEALTH OF PENNSYLVANIA, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THIS PLAN IS ACCURATE AND CORRECT AS INDICATED.

ALARIC J. BUSHER, P.E.  
REG. NO. PE60320  
2601 MARKET PLACE SUITE 350, HARRISBURG, PA 17110  
717-943-1686

## STORMWATER MANAGEMENT CERTIFICATION

I, ALARIC J. BUSHER, P.E., HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE SWATARA TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

ALARIC J. BUSHER, P.E.  
REG. NO. PE60320  
2601 MARKET PLACE SUITE 350, HARRISBURG, PA 17110  
717-943-1686

## COUNTY PLANNING COMMISSION STATEMENT

THIS PLAN REVIEWED BY THE DAUPHIN COUNTY PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CHAIRMAN

SECRETARY

## TOWNSHIP PLANNING COMMISSION STATEMENT

THIS PLAN RECOMMENDED FOR APPROVAL BY THE SWATARA TOWNSHIP PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CHAIRMAN

SECRETARY

## TOWNSHIP BOARD OF COMMISSIONERS STATEMENT

THIS PLAN APPROVED BY THE BOARD OF COMMISSIONERS OF SWATARA TOWNSHIP THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

PRESIDENT

SECRETARY

## RECORDER OF DEEDS STATEMENT

THIS PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR DAUPHIN COUNTY THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

PLAN BOOK \_\_\_\_\_ VOLUME \_\_\_\_\_ PAGE \_\_\_\_\_

INSTRUMENT NO. \_\_\_\_\_

## OWNERS CERTIFICATION

COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF DAUPHIN

ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BEFORE ME THE UNDERSIGNED PERSONALLY APPEARED:

OWNER(S) \_\_\_\_\_

OWNER(S) \_\_\_\_\_

WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

WITNESS MY HAND AND NOTORIAL SEAL THE DAY AND THE DATE ABOVE WRITTEN:

MY COMMISSION EXPIRES \_\_\_\_\_

NOTARY PUBLIC

IT IS HEREBY CERTIFIED THAT THE UNDERSIGNED ARE THE EQUITABLE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN AND THAT ALL STREETS OR PARTS THEREOF, IF NOT PREVIOUSLY DEDICATED ARE HEREBY TENDERED FOR DEDICATION TO PUBLIC USE.

OWNER(S) \_\_\_\_\_

OWNER(S) \_\_\_\_\_

## LANDOWNER STATEMENT

I, \_\_\_\_\_ (OWNER), ACKNOWLEDGE THAT THE STORMWATER BMPs ARE FIXTURES THAT CANNOT BE REMOVED OR ALTERED WITHOUT PRIOR APPROVAL BY THE MUNICIPALITY.

\_\_\_\_\_, 20\_\_\_\_

OWNER

## WAIVERS REQUESTED

APPROVAL DATE

THE APPLICANT IS HEREBY REQUESTING THE FOLLOWING WAIVERS OF THE SWATARA TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE:

§253-11 - PRELIMINARY PLAT PROCEDURE

§253-10A(1)(b)(5) - LOT PLAN

§253-16M(3)(a) - CURBING AT DRIVEWAY

## UNIFORM PARCEL IDENTIFIER

PROPERTY ID: 63-024-089-000-0000

## PLAN PURPOSE

THE PURPOSE OF THIS PLAN IS FOR A PROPOSED TRAILER DROP LOT AT J.B. HUNT - PAXTON STREET FACILITY & ASSOCIATED SITE IMPROVEMENTS ON THE SUBJECT PROPERTY.

## DATES

ISSUE DATE: SEPTEMBER 22, 2023

REVISION: FEBRUARY 16, 2024

## OWNER / DEVELOPER

JB HUNT TRANSPORT INC  
705A N BLOOMINGTON ST  
LOWELL, AR 72745

CV-1 No. 01 of 16

GENERAL NOTES

- 1. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION.
2. ALL CONSTRUCTION SHALL COMPLY WITH THE PROJECT SPECIFICATION MANUAL...
3. REFER TO OTHER PLANS BY OTHER DISCIPLINES, DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION...
4. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES...
5. THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES...
6. THE CONTRACTOR SHALL PROVIDE AN AS-BUILT TOPOGRAPHIC SURVEY TO DESIGN ENGINEER AT THE COMPLETION OF CONSTRUCTION...
7. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION...
8. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS...
9. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL OR COUNTY OR STATE RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE...
10. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
11. SHOULD CONFLICTING INFORMATION BE FOUND WITHIN THE CONTRACT DOCUMENTS, IT IS INCUMBENT UPON THE CONTRACTOR TO REQUEST CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK...
12. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION...
13. ALL NOTES AND DIMENSION DESIGNATED AS "TYPICAL" OR "TYP" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
14. CONTRACTOR(S) TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME...
15. BL COMPANIES WILL PREPARE FINAL CONSTRUCTION DOCUMENTS SUITABLE FOR BIDDING AND CONSTRUCTION...
16. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES...
17. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION...
18. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS PER PLANS AND SPECIFICATIONS TO THE OWNER AND CIVIL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE...
19. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE SEDIMENT AND EROSION CONTROL PLAN.
20. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
21. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED...
22. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TEMPORARY WALKWAYS, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED...
23. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES...
24. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
25. THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
26. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAVEMENT MARKING PAINT MIXTURE PRIOR TO STRIPING.
27. PAVEMENT MARKING KEY:
4" SOL. 4" SOLID YELLOW DOUBLE LINE
4" SOL. 4" SOLID YELLOW LINE
4" SOL. 4" SOLID WHITE LINE
12" SWSB 12" SOLID WHITE STOP BAR
4" BWL 4" BROKEN WHITE LINE 10' STRIPE 30' SPACE
28. PARKING SPACES SHALL BE STRIPED WITH 4" SOL. HATCHED AREA SHALL BE STRIPED WITH 4" SOL. AT A 45° ANGLE, 2" ON CENTER. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
29. ALL PAVEMENT MARKINGS SHALL HAVE TWO COATS OF PAVEMENT MARKINGS APPLIED TO STRIPING. PAVEMENT MARKINGS SHALL BE REFLECTIVE IN ACCORDANCE WITH STATE DOT SPECIFICATIONS.
30. PAVEMENT MARKINGS SHALL BE HOT APPLIED TYPE IN ACCORDANCE WITH STATE DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
31. THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, SWALE, PAVEMENT MARKINGS, OR SIGNAGE DISTURBED DURING DEMOLITION AND/OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER, AND TO THE SATISFACTION OF THE OWNER AND SWATARA TOWNSHIP.
32. EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON DRAWING TITLED "EXISTING CONDITIONS PLAN", SCALE 1"=50', DATED JANUARY 2023, BY BISON AERO.
33. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
34. NO PART OF THE PROJECT PARCEL IS LOCATED WITHIN ANY FEMA DESIGNATED FLOOD HAZARD AREAS.
35. A CURSORY SITE VISIT WAS PERFORMED BY A QUALIFIED PROFESSIONAL AND NO WETLANDS WERE OBSERVED ON-SITE.
36. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FIRE DISTRICT FIRE MARSHAL.
37. THE CONTRACTOR SHALL REMOVE CONFLICTING PAVEMENT MARKINGS IN THE ROADWAY BY METHOD APPROVED BY THE AUTHORITY HAVING JURISDICTION OR DOT AS APPLICABLE FOR THE LOCATION OF THE WORK.
38. CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF NFPA 1 UNIFORM FIRE CODE.
39. CONTRACTOR SHALL SECURE ANY PERMITS, PAY ALL FEES AND PERFORM CLEARING AND GRUBBING AND DEBRIS REMOVAL PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
40. SEDIMENT AND EROSION CONTROLS AS SHOWN ON THE SEDIMENT AND EROSION CONTROL PLAN AND/OR DEMOLITION PLAN SHALL BE INSTALLED BY THE DEMOLITION CONTRACTOR PRIOR TO START OF DEMOLITION AND CLEARING AND GRUBBING OPERATIONS.
41. REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL, BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS.
42. THE CONTRACTOR SHALL SECURE ALL PERMITS FOR HIS DEMOLITION AND DISPOSAL OF HIS DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED. BUILDING DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF ALL BUILDING DEMOLITION DEBRIS IN AN APPROVED OFF-SITE LANDFILL.
43. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL ABATEMENT CONTRACTOR.
44. THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.
45. THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND/OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE

- OF THE CONTRACTOR.
46. THE DEMOLITION CONTRACTOR SHALL STABILIZE THE SITE AND KEEP EROSION CONTROL MEASURES IN PLACE UNTIL THE COMPLETION OF HIS WORK OR UNTIL THE COMMENCEMENT OF WORK BY THE SITE CONTRACTOR, WHICHEVER OCCURS FIRST, AS REQUIRED OR DEEMED NECESSARY BY THE ENGINEER OR OWNER'S REPRESENTATIVE. THE SITE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF EXISTING EROSION AND SEDIMENTATION CONTROLS AND FOR INSTALLATION OF ANY NEW SEDIMENT AND EROSION CONTROLS AS PER THE SEDIMENT AND EROSION CONTROL PLAN, AT THAT TIME.
47. THE CONTRACTOR SHALL PUMP OUT BUILDING FUEL AND WASTE OIL TANKS (IF ANY ARE ENCOUNTERED) AND REMOVE FUEL TO AN APPROVED DISPOSAL AREA BY A LICENSED WASTE OIL HANDLING CONTRACTOR IN STRICT ACCORDANCE WITH STATE REQUIREMENTS.
48. IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
49. THE CONTRACTOR SHALL PROVIDE DISCONNECT NOTIFICATION TO THE MUNICIPALITY ENGINEERING DEPARTMENT, TELECOMMUNICATIONS UTILITY PROVIDER, AND ELECTRIC UTILITY PROVIDER, PROVIDER AT LEAST THREE WEEKS PRIOR TO BEGINNING DEMOLITION.
50. BACK FILL DEPRESSIONS, FOUNDATION HOLES AND REMOVED DRIVEWAY AREAS IN LOCATIONS NOT SUBJECT TO FURTHER EXCAVATION WITH SOIL MATERIAL APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER AND COMPACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. DEMOLISHED BUILDING FOUNDATION AREA AND BASEMENT IF PRESENT TO BE BACKFILLED WITH GRAVEL FILL OR MATERIAL SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT IN LIFT THICKNESS SPECIFIED IN THE GEOTECHNICAL REPORT. COMPACT TO 95% MAX. DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENT SPECIFIED IN GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATION. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
51. THE CONTRACTOR SHALL REPAIR PAVEMENTS BY INSTALLING TEMPORARY AND PERMANENT PAVEMENTS IN PUBLIC RIGHTS OF WAYS AS REQUIRED BY LOCAL GOVERNING AUTHORITIES AND SWATARA TOWNSHIP AND PER PERMIT REQUIREMENTS DUE TO DEMOLITION AND PIPE REMOVAL ACTIVITIES.
52. THE CONTRACTOR SHALL CUT AND REMOVE AT LUMINARE AND SIGN LOCATIONS ANY PROTRUDING CONDUITS TO 24" BELOW GRADE. THE CONTRACTOR SHALL REMOVE ALL CABLES AND CONDUITS FROM REMAINING LIGHTING AND SIGNING CONDUITS TO BE ABANDONED. ANY REMAINING LIGHTING TO REMAIN IN PLACE SHALL BE REROUTED OR REWIRED AS NECESSARY TO REMAIN IN OPERATION.
53. NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH OWNER AND THE CIVIL ENGINEER IS PERFORMED. THE CONTRACTOR SHOULD BE AWARE OF ANY SITE INFORMATION AVAILABLE SUCH AS GEOTECHNICAL AND ENVIRONMENTAL REPORTS. THE CONTRACTOR SHALL HAVE PA ONECAL MARK OUTS OF EXISTING UTILITIES COMPLETED PRIOR TO MEETING.
54. THE CONTRACTOR SHALL ARRANGE FOR AND INSTALL TEMPORARY OR PERMANENT UTILITY CONNECTIONS WHERE INDICATED ON PLAN OR AS REQUIRED. MAINTAIN UTILITY SERVICES TO BUILDINGS OR TO SERVICES TO REMAIN. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR INSTALLATION AND PAY UTILITY PROVIDER FEES.
55. THE CONTRACTOR SHALL NOT COMMENCE DEMOLITION OR UTILITY DISCONNECTIONS UNTIL AUTHORIZED TO DO SO BY THE OWNER.
56. NO SALVAGE SHALL BE PERMITTED UNLESS PAID TO THE OWNER AS A CREDIT.
57. ANY EXISTING POTABLE WELL AND ANY EXISTING SEPTIC TANKS/ABSORPTION AREAS SHALL BE ABANDONED AND REMOVED PER SWATARA TOWNSHIP AND HEALTH CODE REQUIREMENTS.
58. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO SEDIMENT AND EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND EROSION CONTROL NOTES.
59. TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING.
60. SUBGRADE SHALL BE FORMED WITH REMOVAL AND REPLACEMENT OF FILL AND REMOVAL AND REPLACEMENT OF UNSUITABLE AND SOFT SUBGRADE MATERIAL AS REQUIRED BY THE GEOTECHNICAL ENGINEER. SEE GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATIONS FOR FURTHER DESCRIPTION.
61. THE CONTRACTOR SHALL COMPACT FILL IN LIFT THICKNESS PER THE GEOTECHNICAL REPORT UNDER ALL PARKING, BUILDING, DRIVE, AND STRUCTURE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS REQUIRED BY THE GEOTECHNICAL ENGINEER.
62. UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE OWNER/GEOTECHNICAL ENGINEER, AFTER SUBGRADE IS ROUGH GRADED.
63. VERTICAL DATUM IS NAVD 88.
64. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE SWATARA TOWNSHIP AGENT PRIOR TO THE START OF WORK ON THE SITE.
65. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SILTING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE PADEP AND THE PADEP EROSION AND SEDIMENT POLLUTION CONTROL PROGRAM MANUAL, LATEST EDITION. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE SEDIMENT AND EROSION CONTROL PLAN CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, OR SOIL CONSERVATION DISTRICT WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
66. ALL SITE WORK, MATERIALS OF CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK AND STORM DRAINAGE WORK SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE PROJECT SPECIFICATIONS MANUAL. OTHERWISE THIS WORK SHALL CONFORM TO THE COMMONWEALTH DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND PROJECT GEOTECHNICAL REPORT IF THERE IS NO PROJECT SPECIFICATIONS MANUAL. ALL FILL MATERIAL UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE ABOVE STATED APPLICABLE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN LIFT THICKNESSES PER THE PROJECT GEOTECHNICAL REPORT TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 AT MOISTURE CONTENT INDICATED IN PROJECT GEOTECHNICAL REPORT.
67. ALL DISTURBANCE INCURRED TO SWATARA TOWNSHIP, DAUPHIN COUNTY, AND COMMONWEALTH PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE MUNICIPALITY, COUNTY AND SWATARA TOWNSHIP, DAUPHIN COUNTY, AND COMMONWEALTH AS APPLICABLE FOR THE LOCATION OF THE WORK.
68. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
69. UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.
70. THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY PROVIDERS AND GOVERNING AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER.
71. THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.
72. RELOCATION OF UTILITY PROVIDER FACILITIES SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY PROVIDER.
73. CONTRACTOR TO PROVIDE STEEL SLEEVES AND ANNUAL SPACE SAND FILL FOR UTILITY PIPE AND CONDUIT CONNECTIONS UNDER FOOTINGS.
74. MANHOLE RIMS AND CATCH BASIN GRATES SHALL BE SET TO ELEVATIONS SHOWN. SET ALL EXISTING MANHOLE RIMS AND VALVE COVERS TO BE RAISED OR LOWERED FLUSH WITH FINAL GRADE AS NECESSARY.
75. SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF CONDUIT AND CABLES FOR SITE LIGHTING WITH THE ELECTRICAL CONTRACTOR.
76. CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO Pylon SIGNS AND SITE LIGHTING WITH THE BUILDING ELECTRICAL CONTRACTOR.
77. THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY PROVIDERS FOR WORK TO BE PERFORMED BY UTILITY PROVIDERS. THE CONTRACTOR SHALL PAY ALL UTILITY FEES UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATION MANUAL AND GENERAL CONDITIONS, AND REPAIR PAVEMENTS AS NECESSARY.
78. ELECTRIC SERVICES SHALL BE INSTALLED UNDERGROUND FROM SERVICE POLE. THE CONTRACTOR SHALL PROVIDE AND INSTALL AND BACKFILL PVC CONDUITS FOR ELECTRIC SERVICE PRIMARY, PVC CONDUITS FOR ELECTRICAL SECONDARY PER ELECTRICAL PLANS, (SCHEDULE 80 UNDER PAVEMENT, SCHEDULE 40 IN NON PAVEMENT AREAS). SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 12" CLEAR SPACE BETWEEN. MINIMUM COVER IS 36" ON ELECTRIC CONDUITS, AND 24" ON TELECOMMUNICATIONS CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE AND SHALL BE BEDDED, INSTALLED, AND BACKFILLED IN ACCORDANCE WITH ELECTRIC UTILITY PROVIDER AND TELECOMMUNICATIONS COMPANY STANDARDS. GALVANIZED STEEL ELECTRICAL CONDUIT SHALL BE USED AT POLE AND TRANSFORMER LOCATIONS. INSTALL HANDHOLES AS REQUIRED TO FACILITATE INSTALLATION AND AS REQUIRED BY UTILITY PROVIDER. INSTALL TRAFFIC LOAD QUALIFIED HANDHOLES IN VEHICULAR AREAS. INSTALL CONCRETE ENCASUREMENT ON PRIMARY ELECTRIC CONDUITS IF REQUIRED BY ELECTRIC UTILITY PROVIDER.
79. THE CONTRACTOR MAY SUBSTITUTE MASONRY STRUCTURES FOR PRECAST STRUCTURES IF APPROVED BY THE CIVIL ENGINEER AND ALLOWED BY THE GOVERNING AUTHORITY ENGINEER OR OTHER GOVERNING AUTHORITY.
80. PIPING SHALL BE LAID FROM DOWNGRADIENT END OF PIPE RUN IN AN UPGRADIENT DIRECTION WITH BELL END FACING UPGRADE IN THE DIRECTION OF PIPE LAYING.
81. MANHOLE SECTIONS AND CONSTRUCTION SHALL CONFORM TO ASTM C-478.
82. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER 12" OR GREATER IN DIAMETER SHALL BE HI-Q SURE-LOK 10.8 PIPE AS MANUFACTURED BY HANCOX INC. OR APPROVED EQUAL. HOPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO M294, TYPE S. PIPE SECTIONS SHALL BE JOINED WITH BELL-AND-SPIGOT JOINT MEETING THE REQUIREMENTS OF AASHTO M294. THE BELL SHALL BE AN INTEGRAL PART OF THE PIPE AND PROVIDE A MINIMUM PULL-APART STRENGTH OF 400 POUNDS. THE JOINT SHALL BE WATERTIGHT ACCORDING TO THE REQUIREMENTS OF ASTM D3212. GASKETS SHALL BE MADE OF POLYISOPRENE MEETING THE REQUIREMENTS OF ASTM F477. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND OWNER'S CONSTRUCTION MANAGER PRIOR TO ORDERING.
83. HIGH DENSITY POLYETHYLENE (HDPE) STORM SEWER LESS THAN 12" IN DIAMETER SHALL BE HI-Q PIPE AS MANUFACTURED BY HANCOX INC. OR APPROVED EQUAL. HDPE PIPE SHALL HAVE SMOOTH INTERIOR AND CORRUGATED EXTERIOR AND SHALL MEET THE REQUIREMENTS OF AASHTO 252, TYPE S. PIPE SECTIONS SHALL BE JOINED WITH COUPLING BANDS OR EXTERNAL SNAP COUPLERS COVERING AT LEAST 2 FULL CORRUGATIONS ON EACH END OF THE PIPE. SLT-TIGHT (GASKET) CONNECTIONS SHALL INCORPORATE A CLOSED SYNTHETIC EXPANDED RUBBER GASKET. MEETING THE REQUIREMENTS OF AASHTO D1056 GRADE 2A2. GASKETS SHALL BE INSTALLED ON THE CONNECTION BY THE PIPE MANUFACTURER. ALTERNATIVE HDPE PIPE MAY BE USED IF APPROVED BY THE ENGINEER AND OWNER'S CONSTRUCTION MANAGER PRIOR TO ORDERING.
84. THE CONTRACTOR SHALL NOTIFY THE TOWNSHIP ENGINEER AT LEAST 48 HOURS PRIOR TO CONSTRUCTION FOR INSPECTION SERVICES.

DEFINITIONS
MUNICIPALITY SHALL MEAN SWATARA TOWNSHIP
COUNTY SHALL MEAN DAUPHIN COUNTY
STATE SHALL MEAN PENNSYLVANIA
WATER UTILITY PROVIDER SHALL MEAN CAPITAL REGION WATER
SANITARY UTILITY PROVIDER SHALL MEAN SWATARA TOWNSHIP AUTHORITY
TELECOMMUNICATIONS UTILITY PROVIDER SHALL MEAN VERIZON
ELECTRIC UTILITY PROVIDER SHALL MEAN PPL ELECTRIC
NOTES: NO PROPOSED WATER AND SANITARY UTILITY CONNECTION OR IMPROVEMENT AT THE PROJECT SITE



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PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
PROPOSED TRAILER DROP LOT
2224 PAXTON STREET
SWATARA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA

Table with 2 columns: No., Date. Row 1: 1, 02/16/24. Description: AS PER TOWNSHIP COMMENTS.

Table with 2 columns: Field Name, Value. Fields include: Designed (G.J.H.), Drawn (J.R.J.), Reviewed (A.J.B.), Scale (1"= 50'), Project No. (2300182), Date (9/22/2023), CAD File (GN230018201).

GENERAL NOTES

Sheet No.

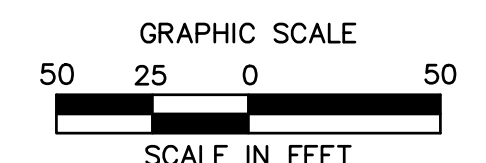
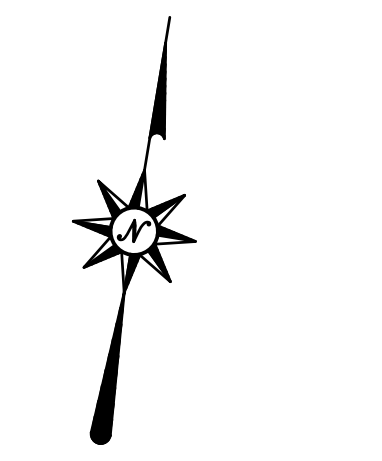
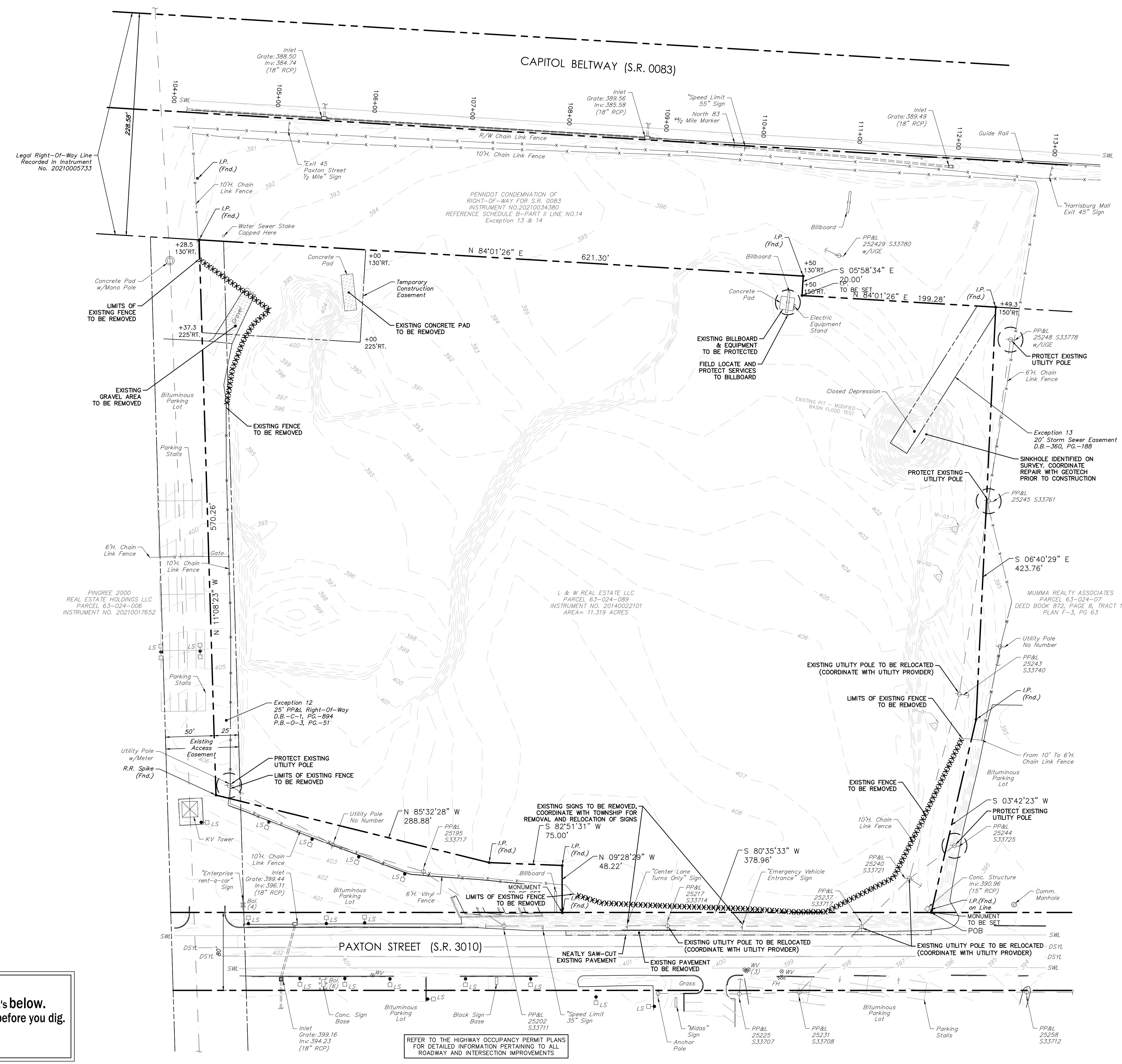
GN-1
No.02 of 16

LEGEND

- Property Line
- Easement Line
- Setback Line
- Railroad
- Trail
- Major Contour
- Minor Contour
- Guide Rail
- Fence
- Overhead Wires
- Underground Electric Line
- Gas Line
- Sanitary Sewer
- Storm Sewer
- Water Line
- Handhole
- Electric Meter
- Utility Pole
- Utility Pole w/ Light
- Guy Wire
- Light Pole
- Flood Light
- Gas Valve
- Gas Meter
- Cleanout
- Catch Basin
- Manhole
- Unknown Utility Type
- Span Pole
- Cantilever Pole
- Fire Hydrant
- Water Valve
- Water Meter
- Sign
- Bollard
- Mail Box
- Monitoring Well
- Tree
- Pavement/gravel to be Removed
- Pavement Sawcut
- Removal of Utility Line or Curb
- Existing Tree to be Protected
- Existing Tree to be Removed

SURVEY NOTES

- TOPOGRAPHIC INFORMATION SHOWN ARE BASED ON A FIELD SURVEY PERFORMED BY BISON AERO, COMPLETED IN JANUARY 2023.
- CONTOURS AND ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- UTILITY LOCATIONS ARE BASED ON SURFACE EVIDENCE AND AVAILABLE PLANS.



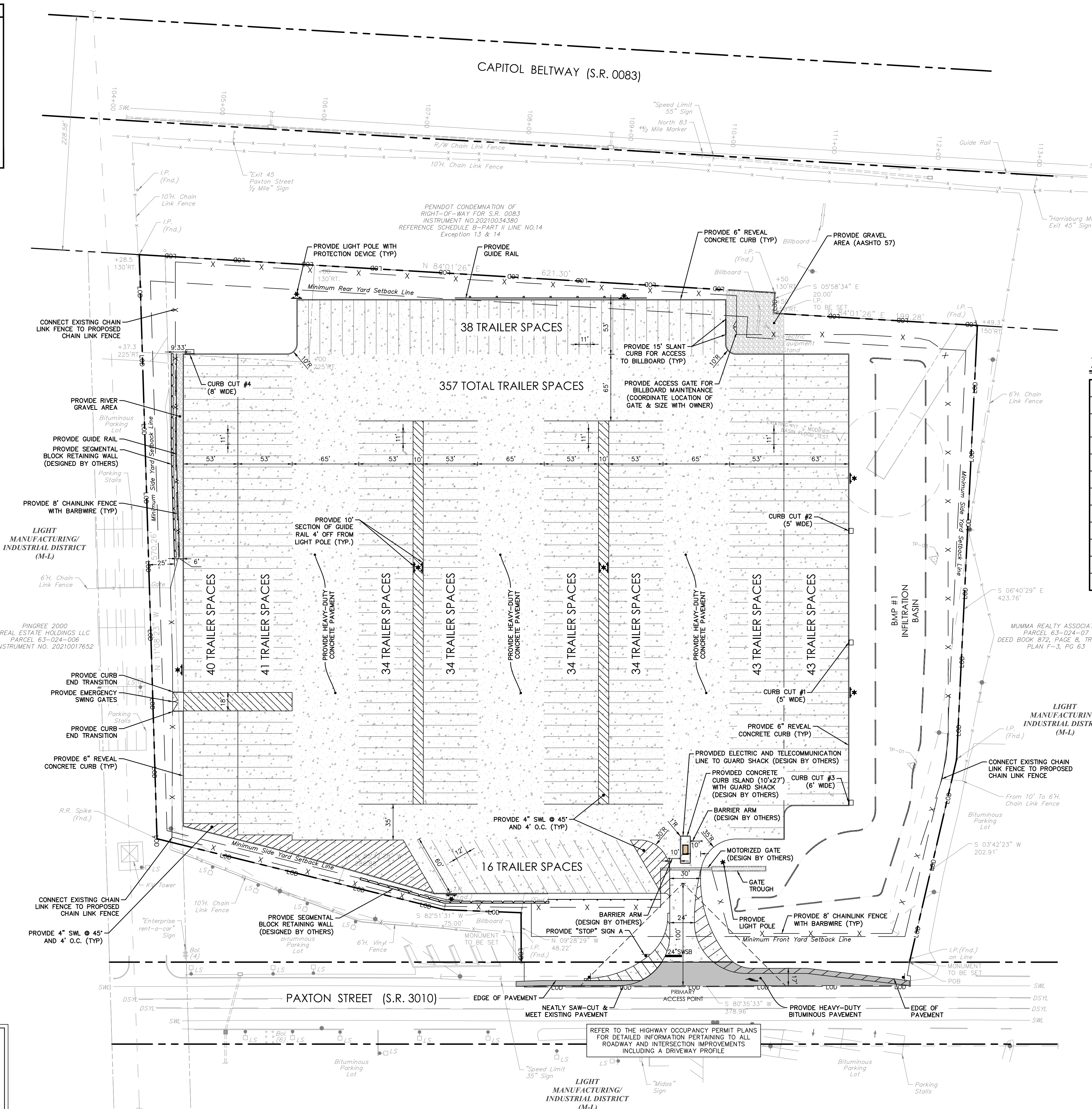
REFER TO THE HIGHWAY OCCUPANCY PERMIT PLANS FOR DETAILED INFORMATION PERTAINING TO ALL ROADWAY AND INTERSECTION IMPROVEMENTS



PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH. PA ONE-CALL SERIAL NO. 20230271741

**LEGEND**

|     |                                |
|-----|--------------------------------|
| --- | LIMIT OF DISTURBANCE           |
| --- | PROPERTY LINE                  |
| --- | BUILDING SETBACK LINE          |
| --- | CONCRETE CURB                  |
| --- | SEGMENTAL BLOCK RETAINING WALL |
| --- | GUIDERAIL                      |
| --- | BOLLARD                        |
| X   | 8' HIGH CHAIN LINK FENCE       |
| --- | HEAVY-DUTY BITUMINOUS PAVEMENT |
| --- | HEAVY-DUTY CONCRETE PAVEMENT   |
| --- | GRAVEL AREA                    |
| *   | SITE LIGHTING                  |



**ZONING INFORMATION**

| LOCATION: SWATARA TOWNSHIP, DAUPHIN COUNTY   |                             |                 |              |
|--|-----------------------------|-----------------|--------------|
| ZONE: LIGHT MANUFACTURING/INDUSTRIAL DISTRICT (M-L)                                    |                             |                 |              |
| USE: PARKING LOT (PRIMARYLY SERVES TRACTOR-TRAILER TRUCKS OR TRAILERS) (PERMITTED USE) |                             |                 |              |
| ITEM #   | ITEM                        | REQUIREMENTS    | PROPOSED     |
| 1  | MINIMUM LOT AREA            | 43,560 (1 ACRE) | 11,319 ACRES |
| 2  | MINIMUM LOT WIDTH           | 150 FEET        | ±750 FEET    |
| 3  | MINIMUM FRONT SETBACK       | 25 FEET         | >25 FEET     |
| 4  | MINIMUM SIDE SETBACK        | 10 FEET         | >10 FEET     |
| 5  | MINIMUM REAR SETBACK        | 25 FEET         | >25 FEET     |
| 6  | MAXIMUM BUILDING HEIGHT     | 120 FEET        | N/A          |
| 7  | MAXIMUM IMPERVIOUS COVERAGE | 80 PERCENT      | SEE CHART    |
| 8  | MAXIMUM BUILDING COVERAGE   | 60 PERCENT      | 0 PERCENT    |

**LOT COVERAGE**

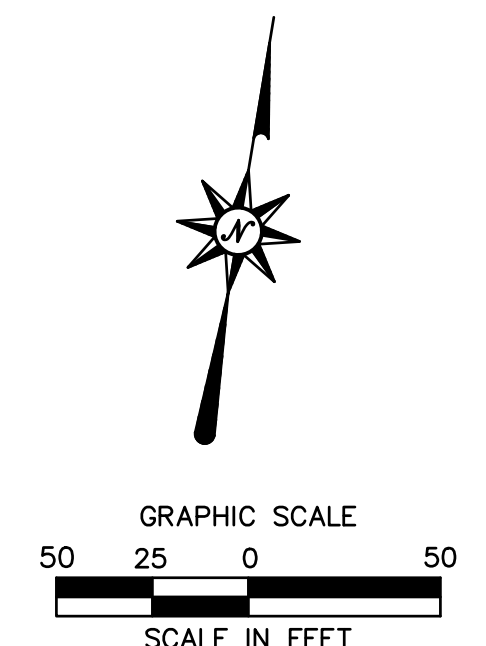
| PROPOSED CONDITIONS       |            |          |       |
|---------------------------|------------|----------|-------|
| TOTAL PERVIOUS SURFACES   | 131,642 SF | 3.02 AC  | 26.7% |
| TOTAL IMPERVIOUS SURFACES | 361,407 SF | 8.30 AC  | 73.3% |
| TOTAL LOT                 | 493,049 SF | 11.32 AC | 100%  |

**SIGN LEGEND**

| NO. | DOT NO./ SIGN SIZE | LEGEND |
|-----|--------------------|--------|
| A   | R1-1<br>24"x24"    | STOP   |



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**PRELIMINARY/FINAL LAND DEVELOPMENT PLAN  
PROPOSED TRAILER DROP LOT**  
2224 PAXTON STREET  
SWATARA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA

REVISIONS

| No. | Date     | Desc.                    |
|-----|----------|--------------------------|
| 1   | 02/16/24 | AS PER TOWNSHIP COMMENTS |

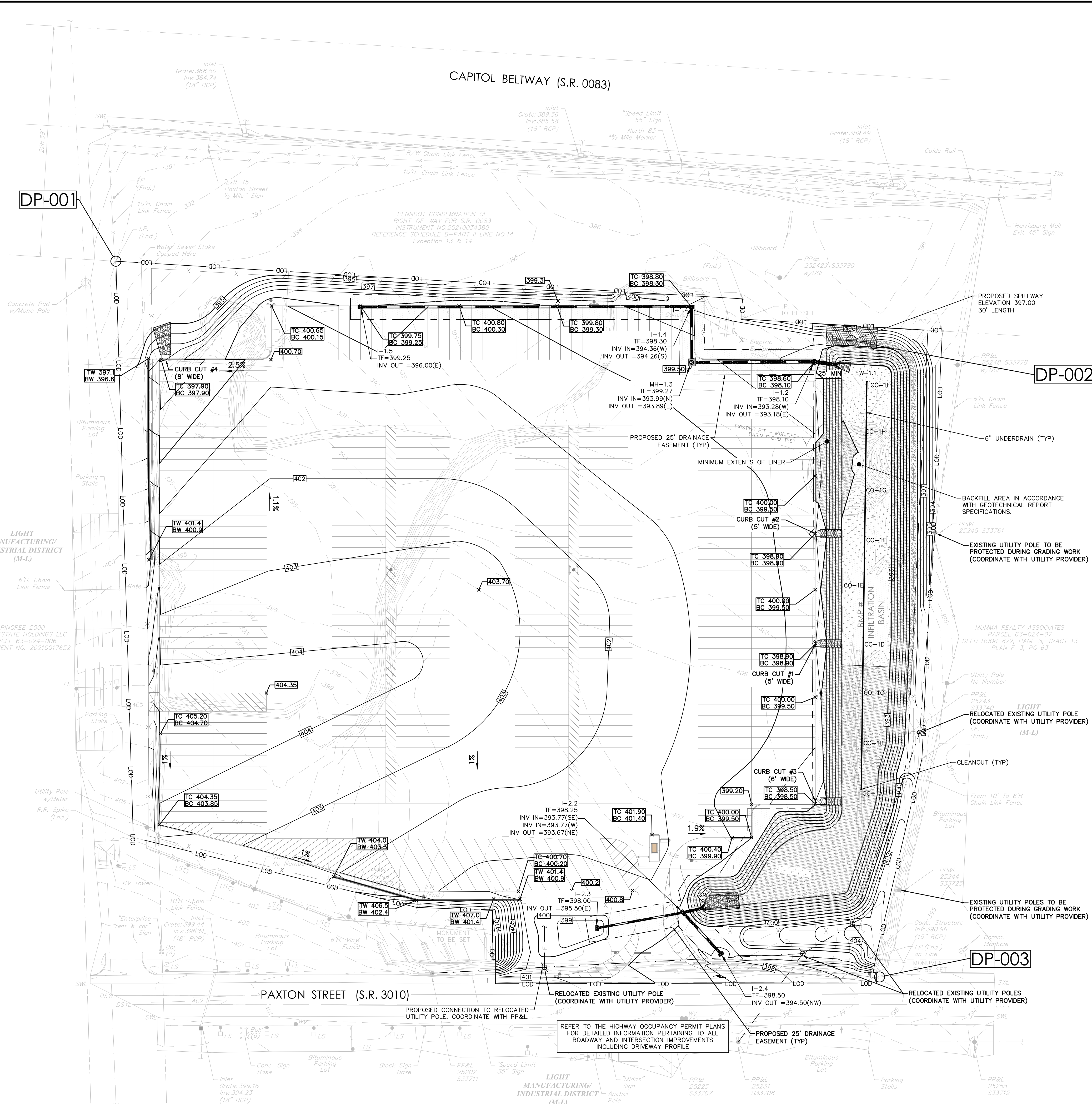
Designed: G.J.H.  
Drawn: J.R.J.  
Reviewed: A.J.B.  
Scale: 1" = 50'  
Project No.: 2300182  
Date: 9/22/2023  
CAD File: SP230018201

**SITE PLAN**

Sheet No.  
**SP-1**  
No.04 of 16

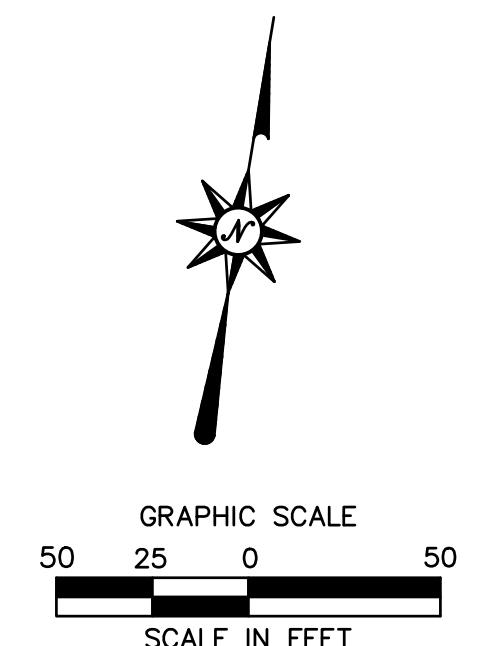
**LEGEND**

- LOD LIMIT OF DISTURBANCE
- PROPERTY LINE
- EXISTING GRADES
- PROPOSED GRADES
- PROPOSED 5' GRADES
- SPOT GRADES
- TOP OF CURB AND BOTTOM OF CURB SPOT GRADES
- TOP OF WALL AND BOTTOM OF WALL SPOT GRADES
- STORM LINE
- "M" TYPE CATCH BASIN
- "C" TYPE CATCH BASIN
- STORM MANHOLE
- RIP RAP
- TURF REINFORCEMENT MAT
- PROPOSED DRAINAGE EASEMENT
- PROPOSED EXTENTS OF GCL LINER



**STORMWATER MANAGEMENT NOTES**

1. THE LIMITS OF DISTURBANCE IS EQUAL TO 502,051 SF (11.53 Ac).
2. THE STORMWATER FACILITIES AND BEST MANAGEMENT PRACTICES OPERATIONS AND MAINTENANCE AGREEMENT IS PART OF THE STORMWATER MANAGEMENT SITE PLAN.
3. THE CONTRACTOR SHALL PROVIDE AN AS-BUILT TOPOGRAPHIC SURVEY TO DESIGN ENGINEER AT THE COMPLETION OF CONSTRUCTION. AS-BUILT SURVEY SHALL COMPLY WITH ALL NPDES NOTICE OF TERMINATION REQUIREMENTS, MUNICIPAL ORDINANCE REQUIREMENTS, AND INCLUDE ALL SITE ELEMENTS, TOPOGRAPHY, STORMWATER MANAGEMENT FACILITY STRUCTURES/BASINS, AND LANDSCAPE ELEMENTS. CONTRACTOR SHALL SUBMIT THE AS-BUILT SURVEY IN BOTH PDF AND AUTOCAD DWG FILE FORMAT TO DESIGN ENGINEER. THE AS-BUILT SURVEY, OR RECORD DRAWINGS, WILL BE PROVIDED TO THE TOWNSHIP PRIOR TO OCCUPANCY, OR THE RELEASE OF FINANCIAL SECURITY.
4. A BLANKET EASEMENT IS PROVIDED FOR INGRESS TO AND EGRESS FROM THE PUBLIC RIGHT-OF-WAY TO THE PROPOSED DRAINAGE EASEMENTS ASSOCIATED WITH THE ON-SITE STORMWATER MANAGEMENT FACILITIES (I.E. INFILTRATION BASIN, PIPES, HEADWALLS, ENDWALLS, ETC.).
5. THE SWATARA TOWNSHIP STORMWATER ENGINEER SHALL INSPECT THE CONSTRUCTION/INSTALLATION OF THE FOLLOWING STORMWATER MANAGEMENT BMPs:
  - INFILTRATION BASIN #1, INCLUDING PITT REMEDIATION & EMERGENCY SPILLWAY
  - STORMWATER STRUCTURES AND PIPING
  - CURB CUT #1, INCLUDING LINING
  - CURB CUT #2, INCLUDING LINING
  - CURB CUT #3, INCLUDING LINING
  - CURB CUT #4, INCLUDING LINING



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| REVISIONS | Date     | Desc.                    |
|-----------|----------|--------------------------|
| No. 1     | 02/16/24 | AS PER TOWNSHIP COMMENTS |

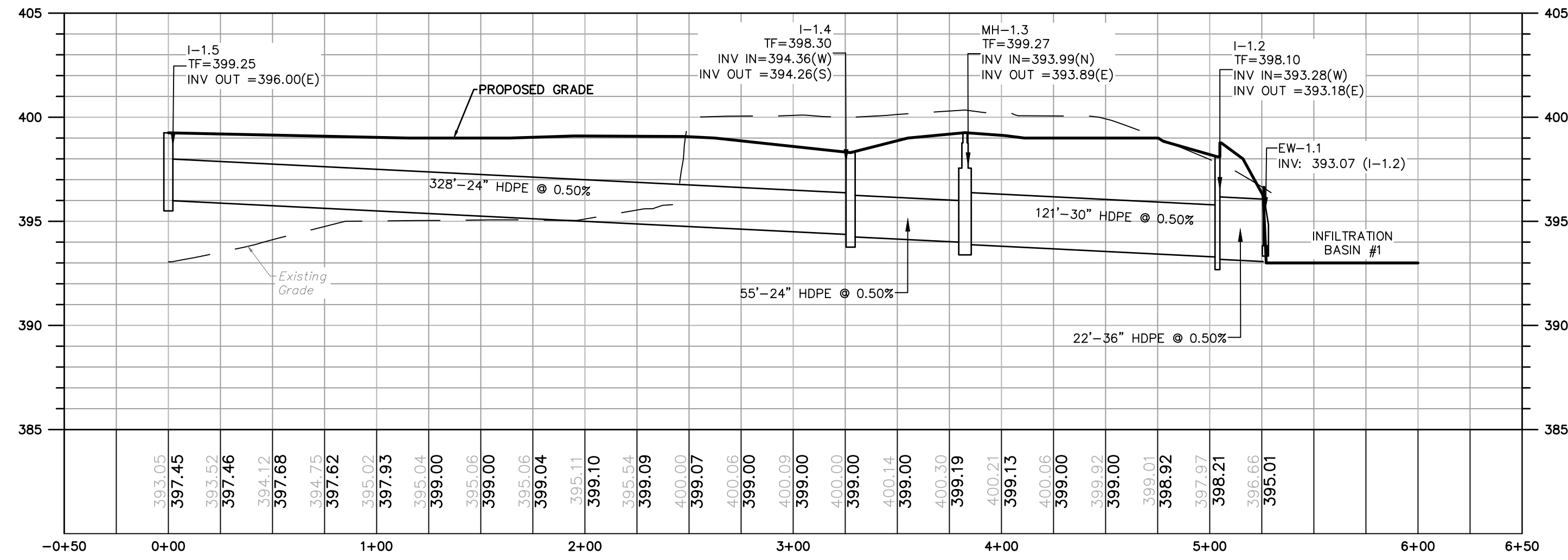
Designed G.J.H.  
Drawn J.R.J.  
Reviewed A.J.B.  
Scale 1" = 50'  
Project No. 2300182  
Date 9/22/2023  
CAD File: GD230018201

Title  
**GRADING & DRAINAGE PLAN**

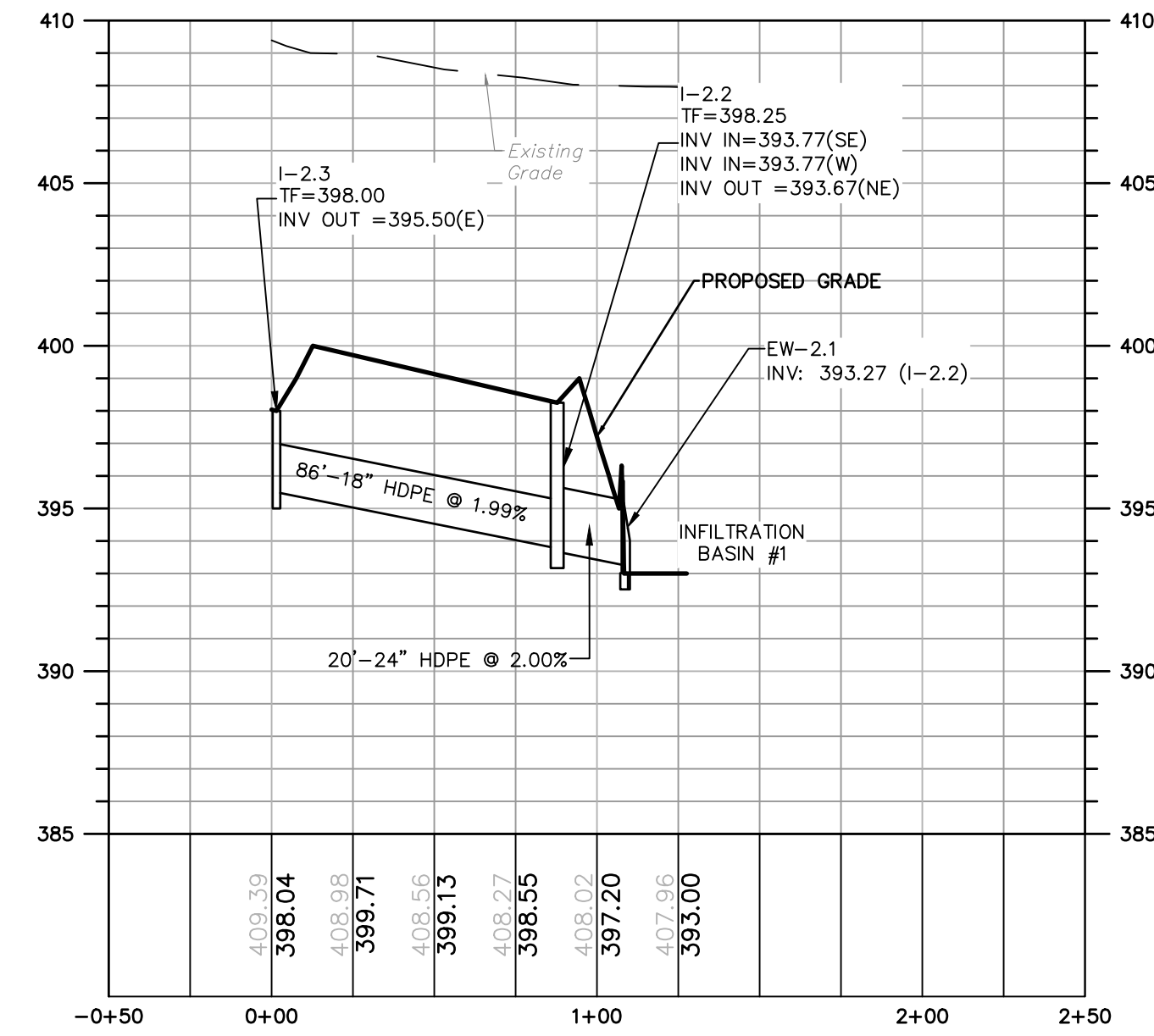
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**GD-1**  
No.05 of 16

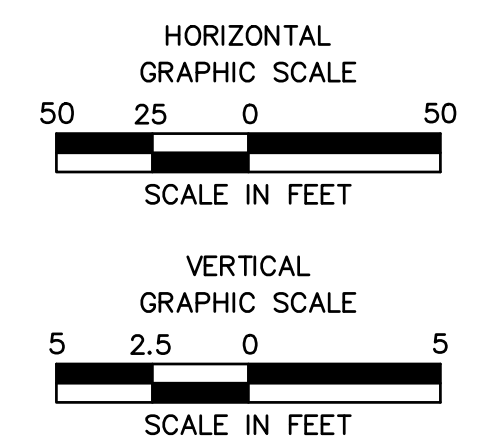
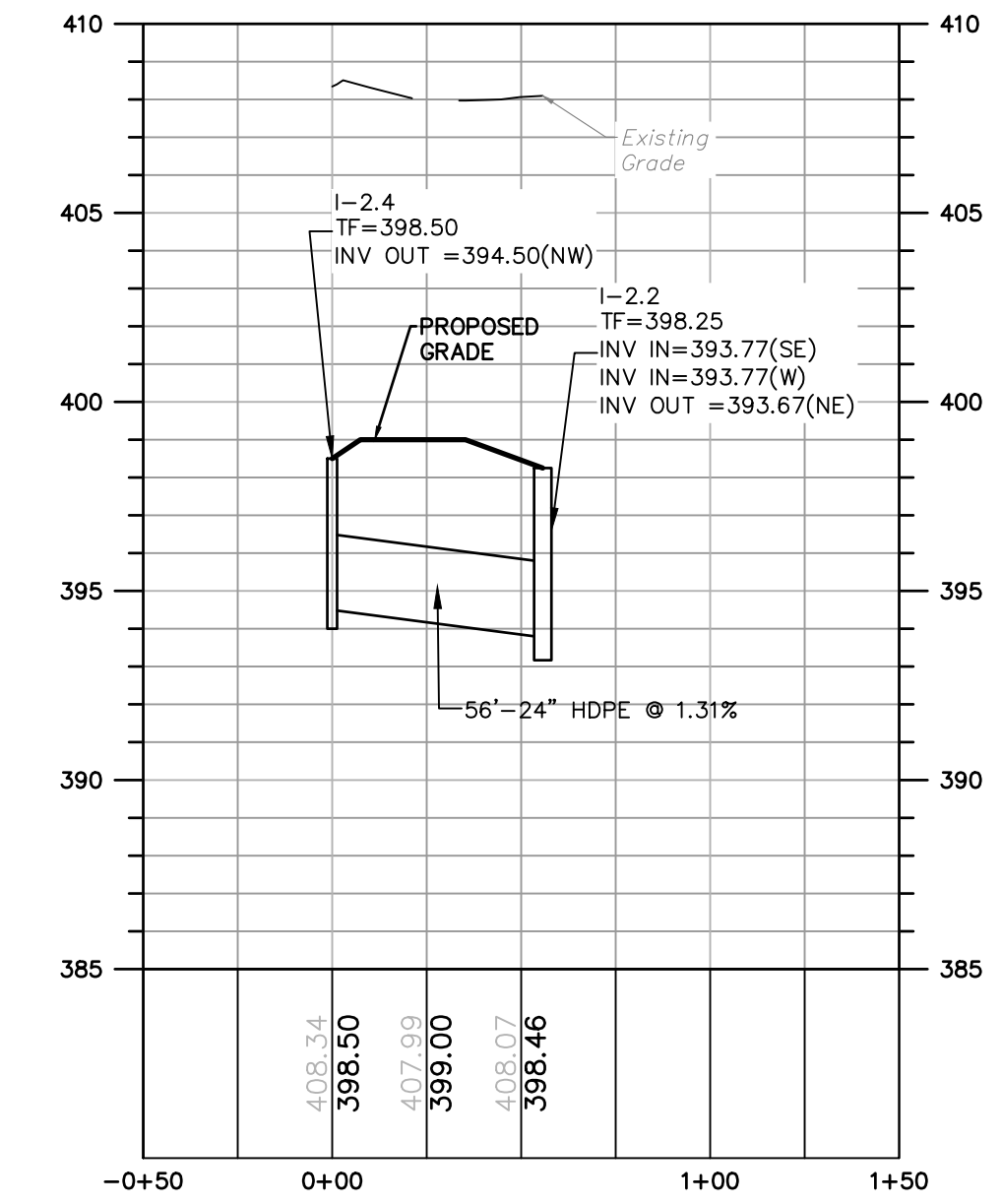
STORM: I-1.1 TO EW-1.4



STORM: I-2.1 TO EW-2.3



STORM: I-2.4 TO I-2.2



PRELIMINARY/FINAL LAND DEVELOPMENT PLAN  
PROPOSED TRAILER DROP LOT  
2224 PAXTON STREET  
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Scale AS NOTED  
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Title  
STORM PROFILES

Sheet No.

PR-1  
No.06 of 16

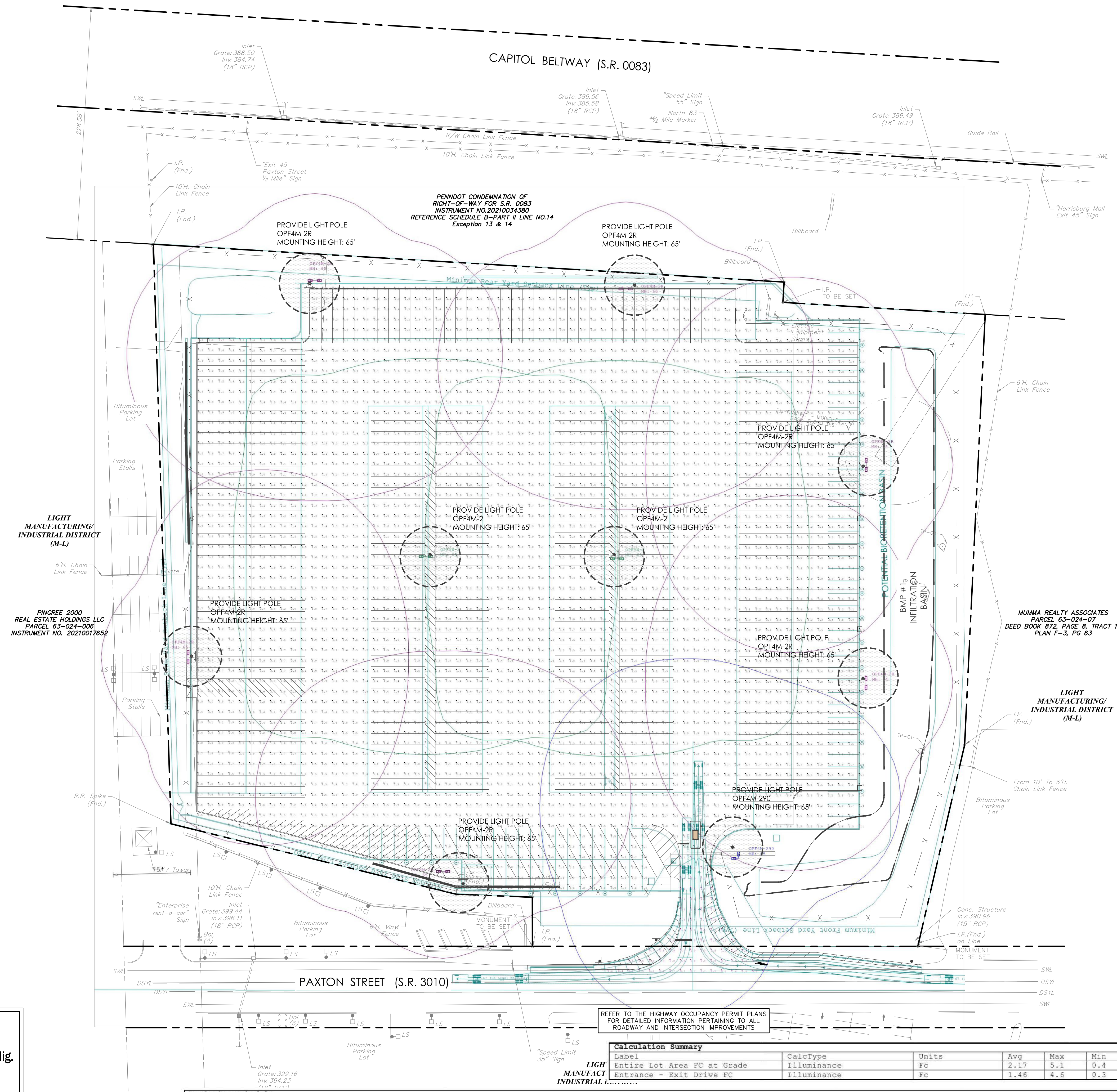


LIAS - LIGHTING APPLICATION SUPPORT



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PRELIMINARY/FINAL LAND DEVELOPMENT PLAN  
PROPOSED TRAILER DROP LOT  
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LIGHTING NOTES

1. LIGHTING DESIGN PREPARED BY SIGNIFY ON 04/24/2023.
2. THE CALCULATIONS SET FORTH HEREIN ARE BASED ON PROJECT SPECIFICATIONS. ACTUAL OR MEASURED VALUES MAY DIFFER FROM FORECASTED RESULTS DUE TO TOLERANCES IN CALCULATION METHODS, TESTING PROCEDURES, COMPONENT PROCEDURES, COMPONENT PERFORMANCE, MEASUREMENT TECHNIQUES, AND VARYING FIELD CONDITIONS SUCH AS, BUT NOT LIMITED TO, LINE VOLTAGE, TEMPERATURE, ATMOSPHERIC/ENVIRONMENTAL CONDITIONS, AND IMPROPER OR UNDOCUMENTED LAMP BURN-IN PROCEDURES. REFER TO LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR (LLF) DETAILS USED IN THE CALCULATIONS.
3. PERIMETER LIGHTS SHALL INCLUDE CUTOFF SHIELDS TO REDUCE THE POTENTIAL FOR GLARE ONTO ADJACENT PROPERTIES AND ROADWAYS.

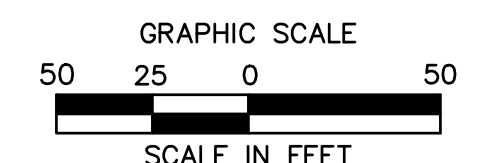
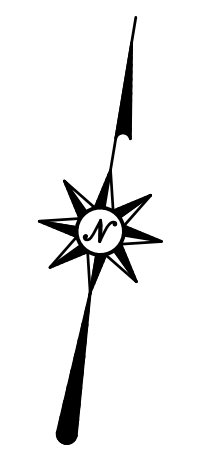
REFER TO THE HIGHWAY OCCUPANCY PERMIT PLANS FOR DETAILED INFORMATION PERTAINING TO ALL ROADWAY AND INTERSECTION IMPROVEMENTS

Calculation Summary

| Label                       | CalcType    | Units | Avg  | Max | Min | Avg/Min | Max/Min |
|-----------------------------|-------------|-------|------|-----|-----|---------|---------|
| Entire Lot Area FC at Grade | Illuminance | Fc    | 2.17 | 5.1 | 0.4 | 5.43    | 12.75   |
| Entrance - Exit Drive FC    | Illuminance | Fc    | 1.46 | 4.6 | 0.3 | 4.87    | 15.33   |

Luminaire Schedule

| Symbol   | Label     | Arrangement    | Description                             | LLF   | Luminaire Lumens | Luminaire Watts | Total Watts | Mounting Height | BUG Rating | LER |
|----------|-----------|----------------|---|-------|------------------|-----------------|-------------|-----------------|------------|-----|
| [Symbol] | OPF5W-2   | Back-Back      | (2) OPF-L-A30-740-T5W                   | 0.850 | 64662            | 393             | 1572        | 65              | B5-U0-G5   | 165 |
| [Symbol] | OPF4M-2R  | Twin           | (2) OPF-L-A30-740-T4M (ROTATED-4R1-4RR) | 0.850 | 65618            | 393             | 4716        | 65              | B4-U0-G5   | 167 |
| [Symbol] | OPF4M-290 | 2 @ 90 degrees | (2) OPF-L-A30-740-T4M                   | 0.850 | 65618            | 393             | 786         | 65              | B4-U0-G5   | 167 |



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Drawn J.R.J.  
Reviewed A.J.B.  
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Title LIGHTING PLAN

Sheet No.

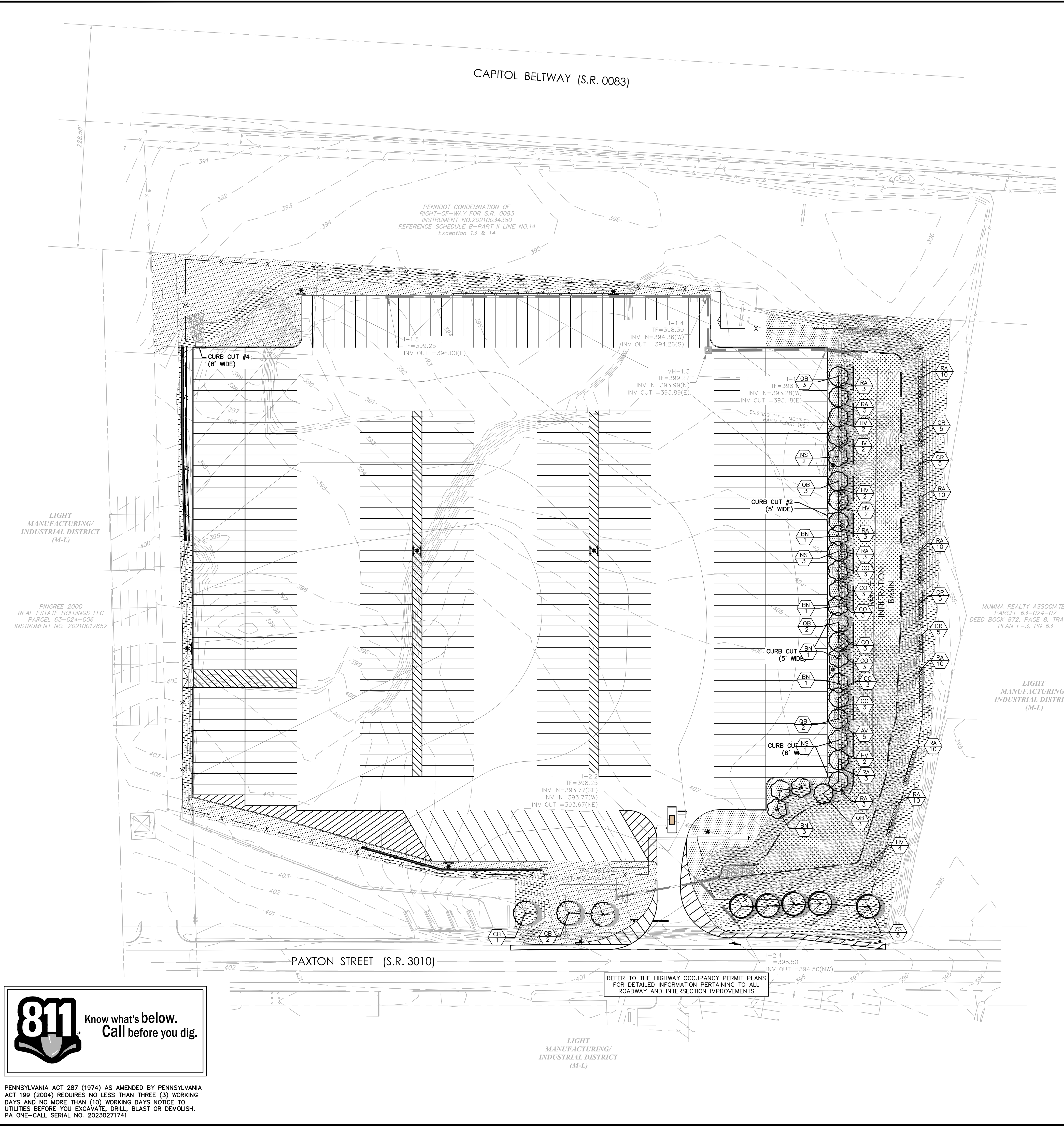
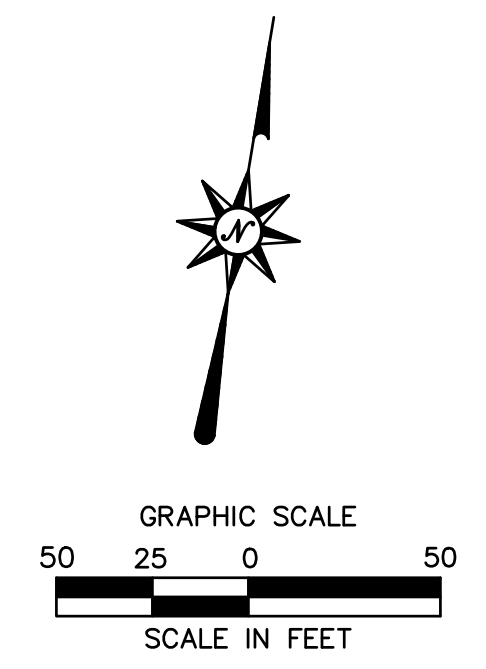
LP-1  
No.07 of 16

| PLANT SCHEDULE |      |     |                           |                         |                   |
|----------------|------|-----|---------------------------|-------------------------|-------------------|
| STREET TREE    | CODE | QTY | BOTANICAL NAME            | COMMON NAME             | SIZE              |
|                | CB   | 3   | CARPINUS BETULUS          | EUROPEAN HORNBEAM       | 2" CAL, 6' HT MIN |
|                | ZS   | 5   | ZELKOVA SERRATA           | JAPANESE ZELKOVA        | 2" CAL, 6' HT MIN |
| SW AREA TREE   | CODE | QTY | BOTANICAL NAME            | COMMON NAME             | SIZE              |
|                | BN   | 7   | BETULA NIGRA              | RIVER BIRCH MULTI-TRUNK | 2" CAL, 6' HT MIN |
|                | NS   | 6   | NYSSA SYLVATICA           | TUPELO                  | 2" CAL, 6' HT MIN |
|                | QB   | 13  | QUERCUS BICOLOR           | SWAMP WHITE OAK         | 2" CAL, 6' HT MIN |
| SW AREA SHRUB  | CODE | QTY | BOTANICAL NAME            | COMMON NAME             | SIZE              |
|                | AV   | 5   | AZALEA VISCOSUM           | SWAMP AZALEA            | 3 GAL.            |
|                | CO   | 21  | CEPHALANTHUS OCCIDENTALIS | BUTTONBUSH              | 3 GAL.            |
|                | CR   | 20  | CORNUS SERICEA            | RED TWIG DOGWOOD        | 3 GAL.            |
|                | HV   | 14  | HAMAMELIS VIRGINIANA      | COMMON WITCH HAZEL      | 3 GAL.            |
|                | RA   | 78  | RHUS AROMATICA            | FRAGRANT SUMAC          | 3 GAL.            |

- NOTES:
- ALL SUBSTITUTIONS MUST RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
  - PROVIDE AND INSTALL ALL PLANTS SHOWN ON THE PLANTING PLAN DRAWINGS; THE QUANTITIES IN THE PLANT LIST ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE LARGER QUANTITY SHALL APPLY.
  - IF THERE IS A DISCREPANCY BETWEEN BOTANICAL AND COMMON NAME, BOTANICAL NAME PREVAILS.
  - ALL DISTURBED AREA, UNLESS OTHERWISE SPECIFIED, SHOULD BE COVERED WITH LAWN SEED MIX.

| ORDINANCE REQUIREMENTS - ZONING  |   |   |          |
|--|---|---|----------|
| SECTION: 295-124 Landscaping   | REQUIRED  | PROPOSED  | VARIANCE |
| C. Street trees. As part of the creation of a new lot for any use, the construction of a new principal nonresidential building, or new land development, or development of a parking area for six or more parking spaces, deciduous shade street trees shall be planted between such lot lines, building and/or parking area and any adjacent public street(s). This requirement shall not apply along street segments where existing healthy trees will be preserved and protected during construction that will serve the same purpose.<br><br>(1) Number. A minimum average of one such tree shall be planted for each 50 feet of length of street right-of-way around the lot.<br><br>(2) Location. Such trees shall be placed with the trunk immediately outside of the street right-of-way, or an alternative location acceptable to the Township.             | 300 ft of frontage along Paxton Street; 380/50=7.6 street trees required. | 8 street trees are proposed along Paxton Street frontage. | NO       |
| G. Stormwater basin landscaping. The following requirements shall apply to landscaping within and around stormwater management basins:<br><br>(2) Trees and shrubs shall be planted around stormwater basins. However, trees and shrubs shall not be planted in locations that would interfere with the function of the basin, such as within 30 feet from the outlet/drain structure, emergency spillway or dam. A minimum average of two trees and 10 shrubs shall be required to be planted around the basin for every 100 linear feet of basin perimeter. Such perimeter shall be measured at the elevation of the top of the berm. Such trees and shrubs shall be in addition to other township requirements. Trees shall have an initial trunk diameter of two inches, measured six inches above the ground. Shrubs shall have an initial height of four feet. | Pond #1 1180 ft/100 ft=11.8; 24 trees and 118 shrubs                      | Pond #1 26 trees and 138 shrubs are provided              | NO       |

| LEGEND |  |
|--------|--|
|        | LIMIT OF DISTURBANCE/CONTRACT LIMIT LINE |
|        | PROPERTY LINE                            |
|        | CONCRETE CURB                            |
|        | SEGMENTAL BLOCK RETAINING WALL           |
|        | BOLLARD SIGN                             |
|        | 8' HIGH CHAIN LINK FENCE                 |
|        | TREES                                    |
|        | SHRUBS                                   |
|        | LAWN SEED MIX (SEE LL-2 SEED MIX NOTES)  |
|        | SLOPE SEED MIX (SEE LL-2 SEED MIX NOTES) |
|        | BASIN SEED MIX (SEE LL-2 SEED MIX NOTES) |
|        | SITE LIGHTING                            |



PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH. PA ONE-CALL SERIAL NO. 20230271741

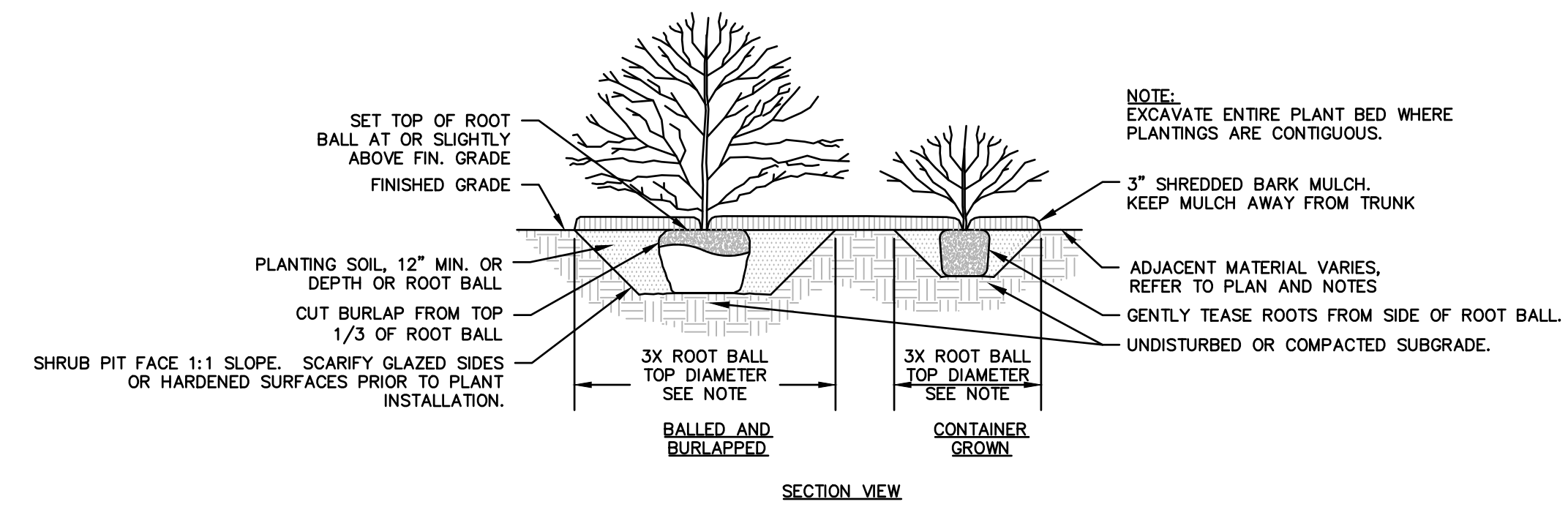


**SEED MIX NOTES**

- A. LAWN SEEDING MIX:**  
 15 % PERENNIAL RYEGRASS (BLEND OF 3 IMPROVED HYBRIDS)  
 25 % FINE LEAF OR CREEPING FESCUE (BLEND OF 3 IMPROVED HYBRIDS)  
 60 % KENTUCKY BLUEGRASS (BLEND OF 3 IMPROVED HYBRIDS)  
 SEEDING RATE: 5 LBS/1,000 S.F.  
 SEEDING DATES: AUGUST 15 – OCTOBER 1 AND APRIL 15 – JUNE 30 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.
- B. SLOPE SEED MIX:**  
 ERNMX-113 – COMMERCIAL CONSERVATION MIX  
 ERNST SEEDS OR APPROVED EQUAL
- 25.0% FESTUCA RUBRA (CREEPING RED FESCUE)  
 25.0% LOLIUM MULTIFLORUM (ANNUAL RYEGRASS)  
 25.0% LOLIUM PERENNE, "BLACKSTONE" (PERENNIAL RYEGRASS, "BLACKSTONE")  
 25.0% LOLIUM PERENNE, "CONFETTI III" (PERENNIAL RYEGRASS, "CONFETTI III" (TURF TYPE)
- APPLICATION RATE: 60 LBS/ACRE: 1000 SF/LB  
 SEEDING DATES: AUGUST 15 – OCTOBER 1 AND APRIL 15 – JUNE 30  
 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.
- C. BASIN SEED MIX:**  
 ERNMX-183 – NATIVE DETENTION AREA SEED MIX  
 ERNST SEEDS OR APPROVED EQUAL
- 26.0% PANICUM CLANDESTINUM, TIOPA (DEERTONGUE, TIOPA)  
 25.0% PANICUM VIRGATUM, "CARTHAGE", NC ECOTYPE (SWITCHGRASS, "CARTHAGE", NC ECOTYPE)  
 20.0% CAREX VULPINOIDEA, PA ECOTYPE (FOX SEDGE, PA ECOTYPE)  
 20.0% ELYMUS VIRGINICUS, MADISON-NY ECOTYPE (VIRGINIA WILD RYE, MADISON-NY ECOTYPE)  
 4.0% AGROSTIS PERENNANS, ALBANY PINE BUSH-NY ECOTYPE (AUTUMN BENTGRASS, ALBANY PINE ECOTYPE)  
 3.0% JUNCUS EFFUSUS (SOFT RUSH)  
 1.0% JUNCUS TENUIS, PA ECOTYPE (PATH RUSH, PA ECOTYPE)  
 1.0% PANICUM RIGIDULUM, PA ECOTYPE (REDTOP PANICGRASS, PA ECOTYPE)
- APPLICATION RATE: 60 LBS/ACRE: 1000 SF/LB  
 SEEDING DATES: AUGUST 15 – OCTOBER 1 AND APRIL 15 – JUNE 30  
 UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.

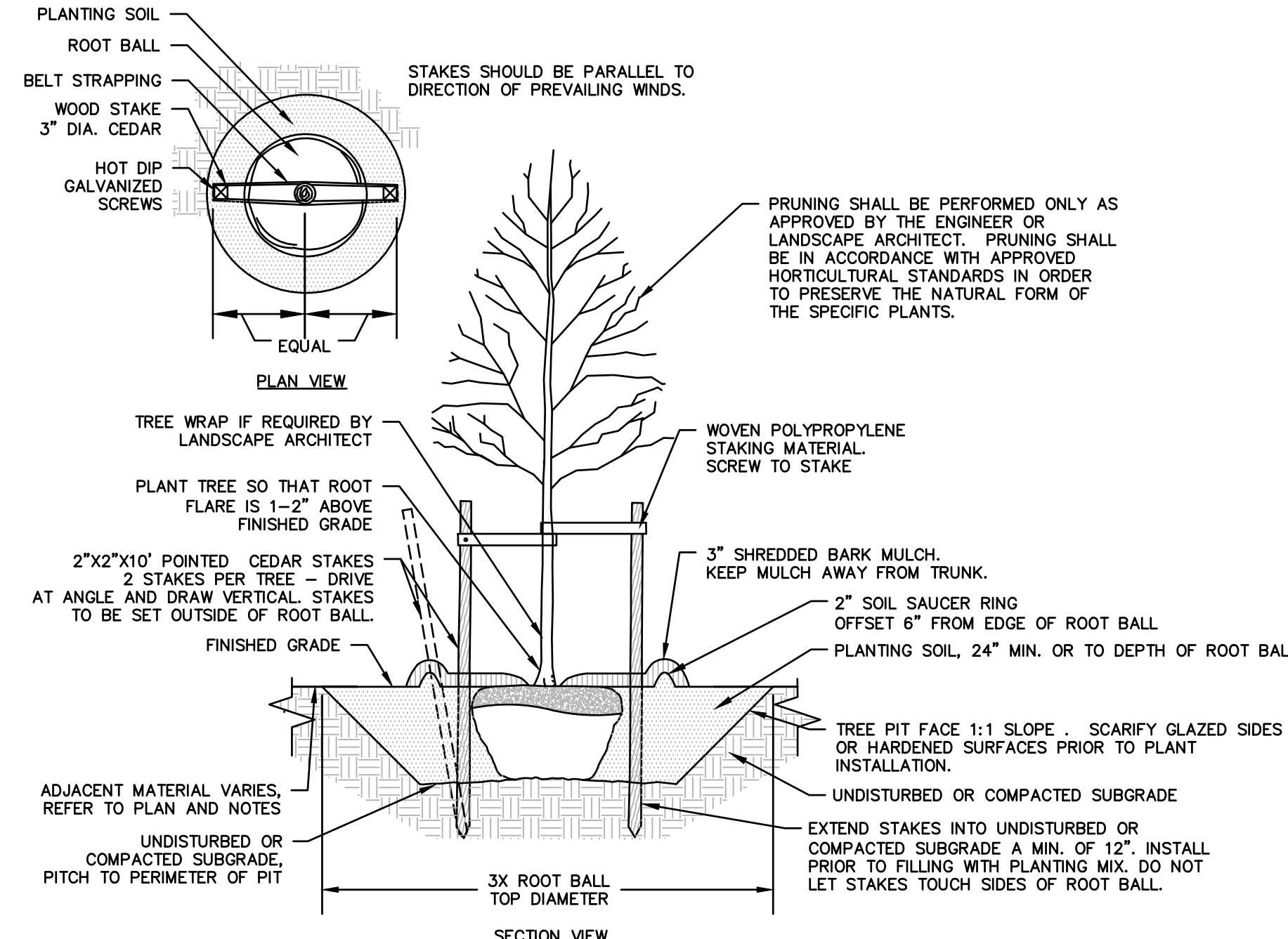
**LANDSCAPE NOTES**

- THE LANDSCAPE PLAN AND DETAIL SHEET ARE FOR LANDSCAPING INFORMATION ONLY. REFER TO THE OTHER PLANS FOR ALL OTHER INFORMATION.
- COORDINATE PLANT MATERIAL LOCATIONS WITH SITE UTILITIES. UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE.
- THE LOCATIONS FOR PLANT MATERIAL ARE APPROXIMATE AND ARE SUBJECT TO FIELD ADJUSTMENT DUE TO UTILITY LOCATIONS AND SITE CONDITIONS. THE CONTRACTOR SHALL ACCURATELY STAKE OUT THE LOCATIONS FOR ALL PLANTS FOR THE REVIEW, ADJUSTMENT, AND APPROVAL BY OWNER OR LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- THE CONTRACTOR SHALL GUARANTEE THAT ALL PLANTS SHALL BE HEALTHY AND FREE OF DISEASE FOR A PERIOD OF ONE YEAR OR JUNE 1ST OF THE YEAR FOLLOWING INSTALLATION, WHICHEVER IS LONGER. AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE BY OWNER OR LANDSCAPE ARCHITECT, CONTRACTOR SHALL REPLACE ANY DEAD OR UNHEALTHY PLANTS AT CONTRACTOR'S EXPENSE. PLANT MATERIAL REPLACEMENTS SHALL BE GUARANTEED FOR ONE FULL YEAR FROM DATE OF REPLACEMENT. REPLACEMENT PLANTS SHALL BE THE SAME AS SPECIFIED FOR THE ORIGINAL PLANTING. REPLACEMENTS SHALL BE MADE AS MANY TIMES AS NECESSARY TO ENSURE HEALTHY PLANTS. FINAL ACCEPTANCE SHALL BE MADE IF ALL PLANTS MEET THE GUARANTEE REQUIREMENTS INCLUDING MAINTENANCE. MAINTENANCE RESPONSIBILITIES INCLUDE CULTIVATING, SPRAYING, WEEDING, WATERING, TIGHTENING GUYS, PRUNING, FERTILIZING, MULCHING, AND ANY OTHER OPERATIONS NECESSARY TO MAINTAIN PLANT VIABILITY. MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL THE END OF THE GUARANTEE PERIOD. DURING THE LANDSCAPE MAINTENANCE PERIOD (GUARANTEE) THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING ANY SITE CONSTRAINTS (PHYSICAL, ENVIRONMENT, ETC.) OR MAINTENANCE DEFICIENCIES THAT MAY AFFECT LANDSCAPE VEGETATION ESTABLISHMENT.
- THE CONTRACTOR SHALL SUPPLY ALL LABOR, PLANTS, AND MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT SCHEDULE. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT SCHEDULE AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER SHALL APPLY. ALL PLANTS SHALL BE ACCLIMATED BY THE SUPPLY NURSERY TO THE LOCAL HARDINESS ZONE AND BE CERTIFIED THAT THE PLANTING MATERIAL HAS BEEN GROWN FOR A MINIMUM OF TWO YEARS AT THE SOURCE AND OBTAINED WITHIN 200 MILES OF PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT.
- PLANTS SHALL HAVE TAGS THAT IDENTIFY PLANT GENUS, SPECIES, CULTIVAR (IF APPLICABLE), PLANT COMMON NAME, NAME OF SOURCE NURSERY, AND SIZE OF PLANT FOR REVIEW BY OWNER OR LANDSCAPE ARCHITECT.
- NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT. STAKING THE LOCATION OF ALL TREES AND SHRUBS SHALL BE COMPLETED PRIOR TO PLANTING FOR APPROVAL BY THE OWNER OR LANDSCAPE ARCHITECT.
- FINAL GRADES SHALL BLEND SMOOTHLY WITH EXISTING GRADES, AND TOP AND BOTTOM OF SLOPES SHALL BE ROUNDED.
- ALL TREE AND SHRUB MASSINGS SHALL BE MULCHED TO A DEPTH OF 3". ANNUAL AND PERENNIAL BEDS SHALL BE MULCHED TO A DEPTH OF 2". MULCH SHALL BE UNCOLORED TRIPLE-SHREDDED HARDWOOD BARK MULCH, AGED AT LEAST 6 MONTHS.
- IF TREE STAKING IS PROPOSED, TREE STAKING MUST BE COMPLETED THE SAME DAY AS THE TREE IS INSTALLED. ALL TREES SHALL BE STAKED OR GUYED PER DETAIL.
- LANDSCAPE PLANTING AREAS MUST BE FREE DRAINING. PAVEMENT, COMPACTED SUBGRADE, DEAD OR DYING PLANT MATERIAL, BLASTED ROCK, STONES GREATER THAN 1" IN DIAMETER, AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT SHALL BE REMOVED FROM AREAS TO BE LANDSCAPED AS REQUIRED BY PLANTING DETAILS OR SPECIFICATIONS.
- PLANTING SOIL:  
 DEPTH: PLANTING SOIL SHALL BE INSTALLED AT A MINIMUM DEPTH OF 4" OR AS NOTED IN THE LANDSCAPE DETAILS. PLANTING SOIL SHALL BE UTILIZED IN ALL PLANTING AREAS INCLUDING SEEDING AREAS.  
 TESTING: CONTRACTOR SHALL SUBMIT (2) SOIL SAMPLES PER SOIL STOCKPILE TO A CERTIFIED TESTING LABORATORY TO DETERMINE ACIDITY, ORGANIC CONTENT, MECHANICAL ANALYSIS, AVAILABLE NUTRIENTS (N,P,K,Ca,Mg,S,Fe,Mn,Zn,Cu,B,Al,Pb) AND NECESSARY AMENDMENTS TO SOIL. THE CONTRACTOR SHALL SUBMIT THE TEST RESULTS TO THE OWNER OR LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. TEST RESULTS SHALL RECOMMEND AMENDMENTS THAT WILL ALTER THE SOIL CHARACTERISTICS SUCH THAT THE CHARACTERISTICS DESCRIBED BELOW ARE ACHIEVED AND THE SPECIFIED PLANTS (CONTRACTOR TO PROVIDE LIST TO TESTING LABORATORY) WILL ACHIEVE PROPER GROWTH THAT IS NEITHER DEFICIENT NOR EXCESSIVE. THE CONTRACTOR SHALL INCORPORATE THESE AMENDMENTS AT NO INCREASE IN CONTRACT PRICE.  
 CHARACTERISTICS: PLANTING SOIL MAY CONSIST OF EXISTING ON-SITE SOILS, AMENDED ON-SITE SOILS, OR IMPORTED SOILS MEETING THE FOLLOWING CRITERIA:  
 A. NOT TO CONTAIN MATERIALS HARMFUL TO PLANT LIFE, TO BE CLEAN, FERTILE, FRIABLE, AND WELL DRAINING. ALL PLANTING SOIL SHALL BE FREE OF ANY SUBSOIL EARTH CLODS, SODS, STONES OVER 1" IN ANY DIMENSION, STICKS, ROOTS, WEEDS, LITTER AND OTHER DELETERIOUS MATERIAL. PLANTING SOIL SHALL BE UNIFORM IN QUALITY AND TEXTURE.  
 B. PLANTING SOIL SHALL HAVE THE FOLLOWING OPTIMUM RANGES UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT.  
 ORGANIC CONTENT      3% – 6% FOR LAWN OR GRASS AREAS.  
                                  4% – 8% FOR TREE AND SHRUB PLANTERS.  
                                  8%–16% FOR RETENTION OR DETENTION BASINS.  
 (BY LOSS OF IGNITION AT 375 C METHOD OF TESTING)  
 PH                              6.0 – 7.3  
 C. NUTRIENT LEVELS SHALL BE ACHIEVED BY THE CONTRACTOR'S ADDITION OF AMENDMENTS TO THE PLANTING SOIL TO MEET THE OPTIMUM NUTRIENT LEVELS SPECIFIED IN THE TESTING LABORATORY REPORT FOR EACH OF PLANTS TO BE INSTALLED.  
 D. SOIL SHALL BE COMPACTED TO A SURFACE PENETRATION RESISTANCE OF 75–125 LBS/SQ.IN.  
 E. SOIL MAY BE TREATED FOR WEEDS WITH PRE-EMERGENT OR POST-EMERGENT HERBICIDE, AS NEEDED AND AS APPROPRIATE FOR THE APPLICATION SEASON OR LOCATION OR ELIMINATE GROWTH OF UNWANTED PLANT MATERIAL. APPLY HERBICIDES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. HERBICIDE APPLICATOR MUST BE LICENSED IN THE STATE OF NORTH CAROLINA AND PERFORM APPLICATIONS IN ACCORDANCE WITH LOCAL REQUIREMENTS, PERMITTING STIPULATIONS, AND ANY OTHER RESTRICTIONS INCLUDING ANY IN EXCESS OF STATE AND FEDERAL REGULATIONS.  
 F. PROPOSED TOPSOIL SHALL MEET THE USDA SOILS TEXTURAL PERCENTAGES OF SAND, SILT, AND CLAY FOR FOLLOWING CLASSIFICATIONS:  
     – LOAM  
     – SANDY LOAM WHERE SAND DOES NOT EXCEED 70% AND CLAY IS NOT LESS THAN 5%.  
     – SANDY CLAY LOAM WHERE SAND DOES NOT EXCEED 70% AND CLAY IS LESS THAN 28%.  
 G. BIORETENTION SOILS: SOIL TO BE INSTALLED IN RETENTION BASINS, PONDS, OR OTHER STORMWATER MANAGEMENT ENVIRONS SHALL MEET THE ABOVE DESCRIBED CHARACTERISTICS AND AS FOLLOWS:  
     – SOIL SHALL NOT CONTAIN MORE THAN 20% CLAY AND LESS THAN 40% SILT.  
     – SOIL SHALL HAVE AN INFILTRATION RATE BETWEEN 1/2" AND 3" PER HOUR.  
 H. MODIFICATION TO THE PLANTING SOIL CHARACTERISTICS DESCRIBED ABOVE MAY BE SUBMITTED FOR APPROVAL BY THE LANDSCAPE ARCHITECT. CONTRACTOR MUST DEMONSTRATE PROPOSED CHARACTERISTICS ARE EQUAL TO OR SUPERIOR TO THE SPECIFIED CHARACTERISTICS WITH RESPECT TO SUPPORTING PLANT GROWTH, AND STORMWATER MANAGEMENT.
- PLANTING AMENDMENTS:  
 APPLY FERTILIZER AND OTHER AMENDMENTS AS RECOMMENDED FOR EACH PLANTING AREA BY SOIL ANALYSIS. APPLY AMENDMENTS IN A MANNER CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS. ANY ORGANIC AMENDMENTS SHALL HAVE A pH BETWEEN 4.5 AND 5.5 UNLESS OTHERWISE RECOMMENDED.
- PLANT REQUIREMENTS: ALL PLANTS SHALL CONFORM IN SIZE AND GRADE TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z603.1 (LATEST EDITION). PLANTS SHALL MEET THE ADDITIONAL REQUIREMENTS SET FORTH BELOW AND IN WRITTEN SPECIFICATIONS AS APPLICABLE. ALL TREES AND SHRUBS SHALL HAVE BEEN GROWN AT A COMMERCIAL NURSERY WITHIN 200 MILES OF THE PROJECT SITE UNLESS OTHERWISE APPROVED BY OWNER OR LANDSCAPE ARCHITECT. THEY SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY. THEY SHALL BE HEALTHY, SYMMETRICAL, EVENLY AND DENSELY BRANCHED, AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF BARK INJURY, DISEASE, AND INSECT PESTS. ALL TREES SHALL HAVE A STRAIGHT TRUNK WITH A SINGLE MAIN LEADER UNLESS OTHERWISE CHARACTERISTIC OF THE SPECIES OR VARIETY. THE OWNER OR LANDSCAPE ARCHITECT WILL ALLOW SUBSTITUTIONS ONLY UPON WRITTEN APPROVAL. SIZES SHALL CONFORM TO THE MEASUREMENT SPECIFIED ON THE DRAWINGS. PLANTS LARGER THAN SPECIFIED MAY BE USED IF APPROVED, BUT THE USE OF SUCH PLANTS SHALL NOT INCREASE THE CONTRACT PRICE. ALL OVERSTORY TREES PLANTED ALONG PARKING AREAS, SIDEWALKS AND PEDESTRIAN ACCESSES SHALL NOT BRANCH BELOW 7' FEET IF THE TREE CALIPER IS 3" INCHES OR GREATER. ALL PLANT MATERIALS ARE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE. THE CONTRACTOR SHALL COORDINATE SOURCE VISITS WITH THE LANDSCAPE ARCHITECT AND SHALL ACCOMPANY THE OWNER AND/OR LANDSCAPE ARCHITECT FOR ALL INSPECTIONS. CERTIFICATES OF COMPLIANCE WITH SPECIFICATIONS ARE REQUIRED FOR ALL PLANTS.
- INSPECTION AND REVIEW:  
 ALL PLANT MATERIAL SHALL BE SUBJECT TO INSPECTION AND ACCEPTANCE BY THE OWNER OR LANDSCAPE ARCHITECT AT THE NURSERY SOURCE OR PLACE OF GROWTH. THE CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPE ARCHITECT ON A SCHEDULE FOR SOURCE VISITS AND ACCOMPANY THE OWNER OR LANDSCAPE ARCHITECT FOR ALL SOURCE INSPECTIONS. CERTIFICATES OF COMPLIANCE ARE REQUIRED FOR ALL PLANT MATERIALS. PHOTOGRAPHIC REVIEW OF PLANT MATERIAL IS ACCEPTABLE IF APPROVED BY LANDSCAPE ARCHITECT. PHOTOGRAPHS MUST BE PROVIDED IN QUANTITY AND VARIETY TO ALLOW LANDSCAPE ARCHITECT SUFFICIENT INFORMATION TO MAKE A REASONABLE DETERMINATION AS TO THE PLANTS' QUALITY. OWNER AND LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT PLANT MATERIAL DELIVERED TO THE SITE BUT PREVIOUSLY ACCEPTED IF DAMAGED OR NOT PROPERLY MAINTAINED DURING THE DELIVERY PROCESS.
- PLANTING SEASONS (UNLESS OTHERWISE APPROVED BY THE OWNER OR LANDSCAPE ARCHITECT)  
 EVERGREEN TREES AND SHRUBS      SPRING      APRIL 1 TO JUNE 15      FALL      SEPTEMBER 1 TO OCTOBER 15  
 DECIDUOUS TREES AND SHRUBS      APRIL 1 TO JUNE 15      SEPTEMBER 15 TO NOVEMBER 15  
 GROUNDCOVERS      APRIL 1 TO JUNE 15      SEPTEMBER 1 TO OCTOBER 15  
 PERENNIALS      MAY 15 TO JUNE 15      SEPTEMBER 1 TO OCTOBER 15  
 SEED MIXES      PER MANUFACTURERS RECOMMENDATIONS OR AS LISTED IN SEED MIX NOTES
- SEEDING MIXTURES: REFER TO SEED MIX NOTES. SEEDING AREA SHALL BE ACCEPTED WHEN SEED AREA ACHIEVES 90% COVERAGE.
- ALL SLOPES STEEPER THAN 3:1 RECEIVING A SEED MIX SHALL BE COVERED WITH AN EROSION CONTROL BLANKET OF STRAW FIBER AND BIODEGRADABLE OR PHOTODEGRADABLE NETTING.
- UNLESS OTHERWISE NOTED IN DRAWING SET, NEW TRELINES SHALL EQUAL CLEARING AND GRUBBING LIMIT FOR CONSTRUCTION.
- ALL DISTURBED AREAS NOT OTHERWISE DEVELOPED SHALL BE SEEDING WITH THE LAWN SEED MIX.



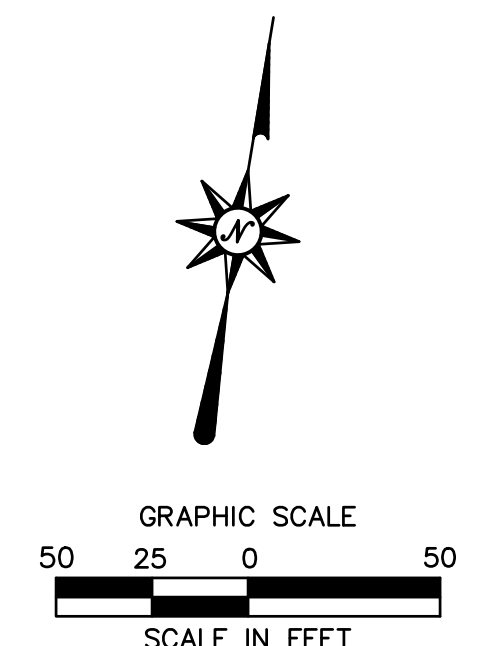
**SHRUB PLANTING DETAIL**

N.T.S



**TREE PLANTING DETAIL**

N.T.S



PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH. PA ONE-CALL SERIAL NO. 20230271741



2601 Market Place  
 Suite 350  
 Harrisburg, PA 17110  
 (717) 943-1665

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN  
 PROPOSED TRAILER DROP LOT  
 2224 PAXTON STREET  
 SWATARA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA

| REVISIONS | Desc.                    | Date     |
|-----------|--------------------------|----------|
| No. 1     | AS PER TOWNSHIP COMMENTS | 02/16/24 |

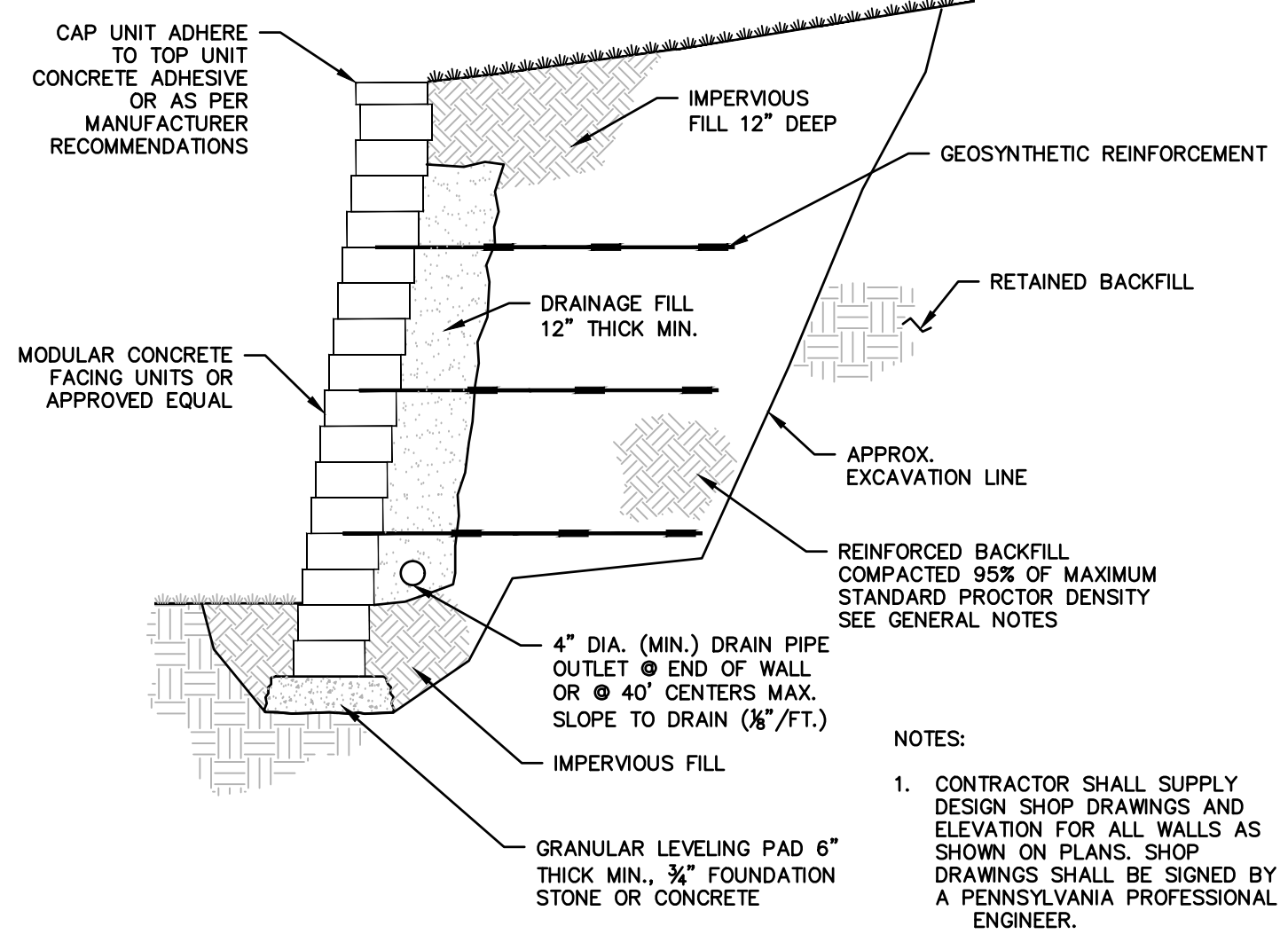
Designed: G.J.B.  
 Drawn: G.J.B.  
 Reviewed: A.J.B.  
 Scale: 1" = 50'  
 Project No.: 2300182  
 Date: 9/22/2023  
 C.A.D. File: LL230018201

Title:  
**LANDSCAPE  
 DETAIL & NOTES**

Sheet No.

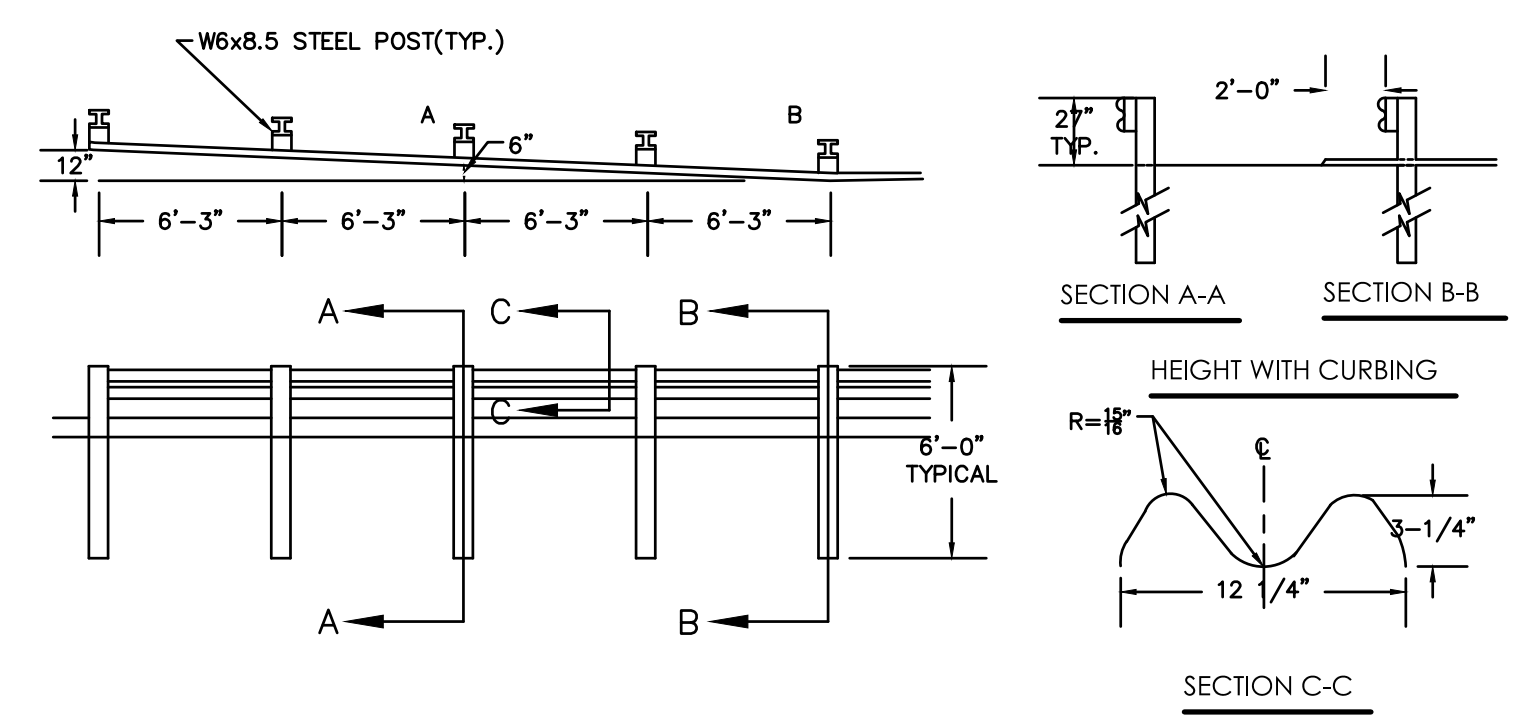
**LL-2**  
 No.09 of 16

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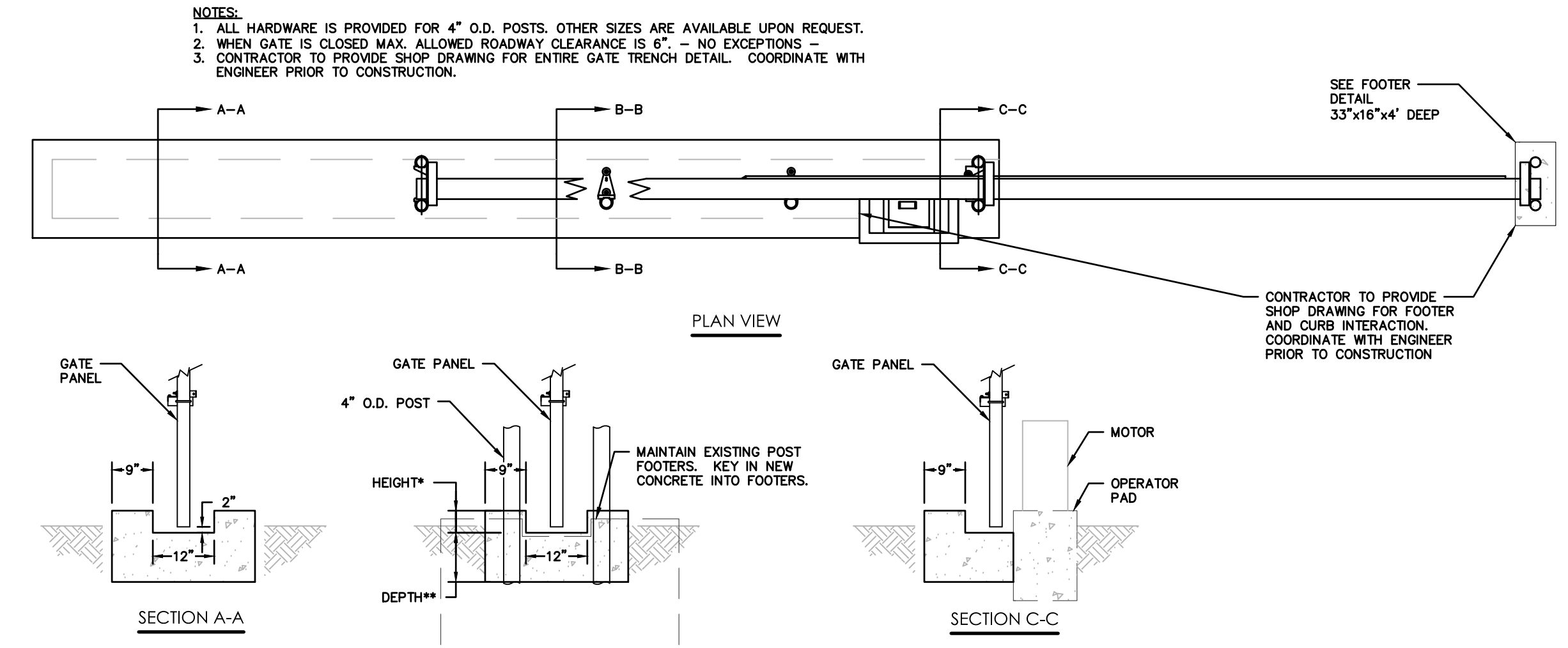
**TYPICAL SECTION SEGMENTAL RETAINING WALL**

N.T.S.



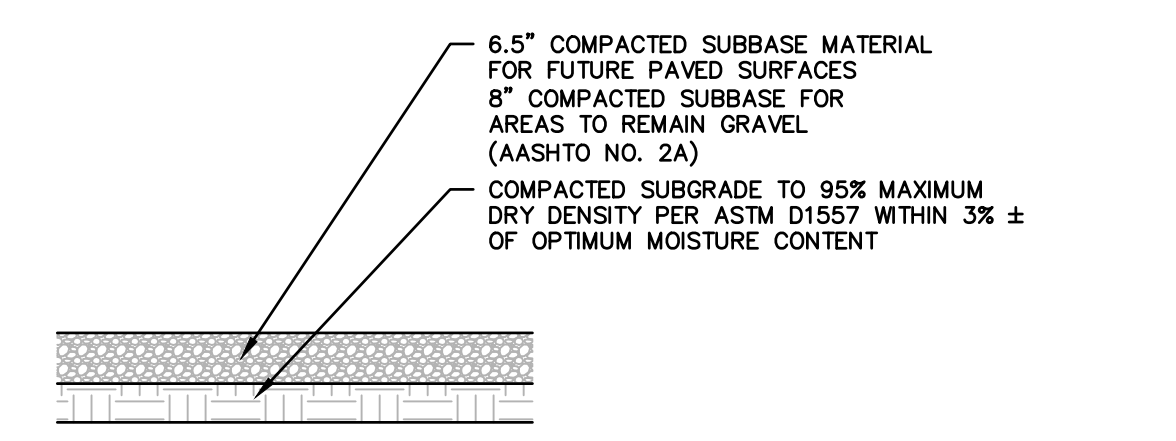
**METAL BEAM GUIDE RAIL PENNDOT TYPE 31-S STEEL**

N.T.S.



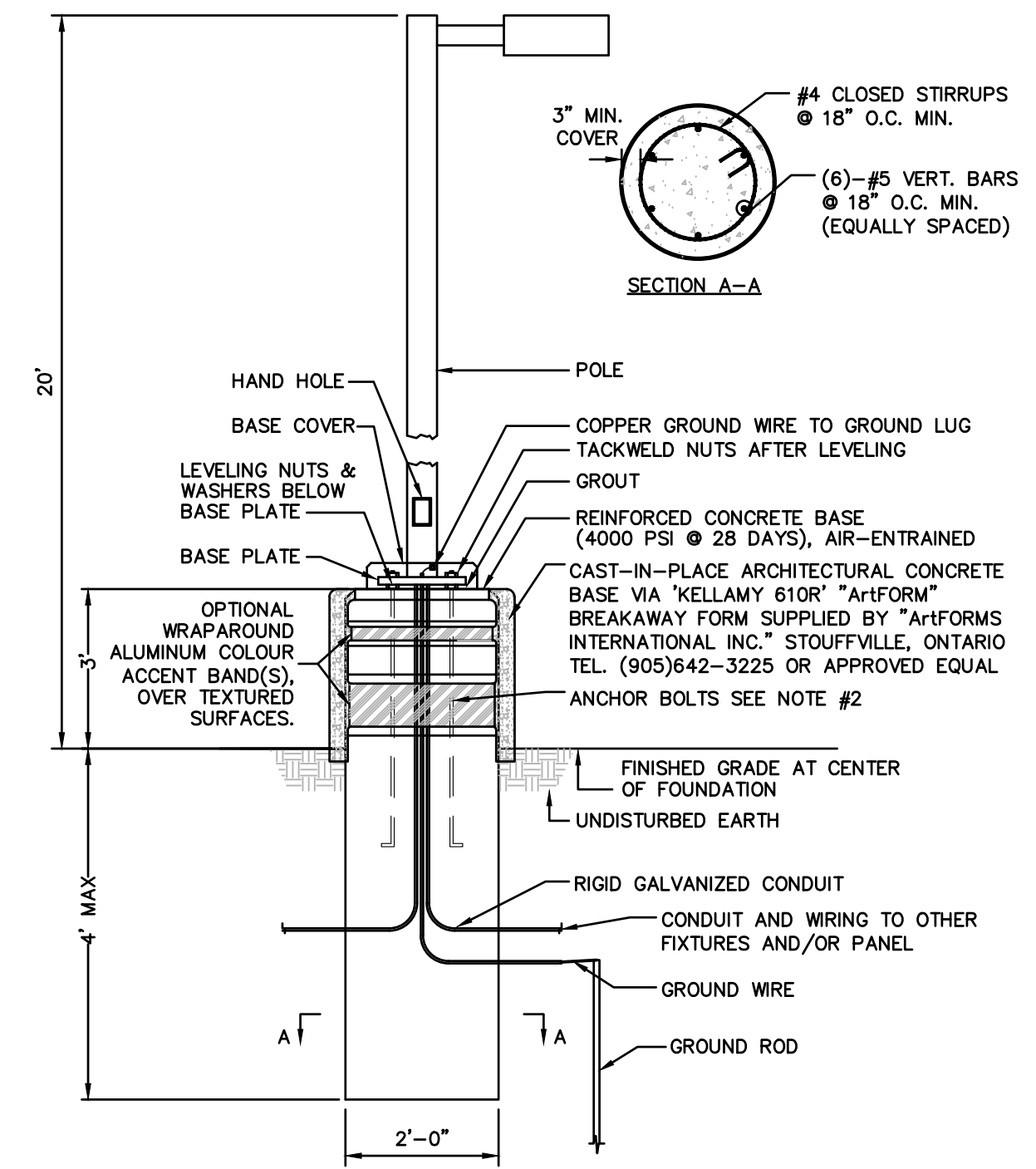
**GATE TRENCH DETAIL**

N.T.S.



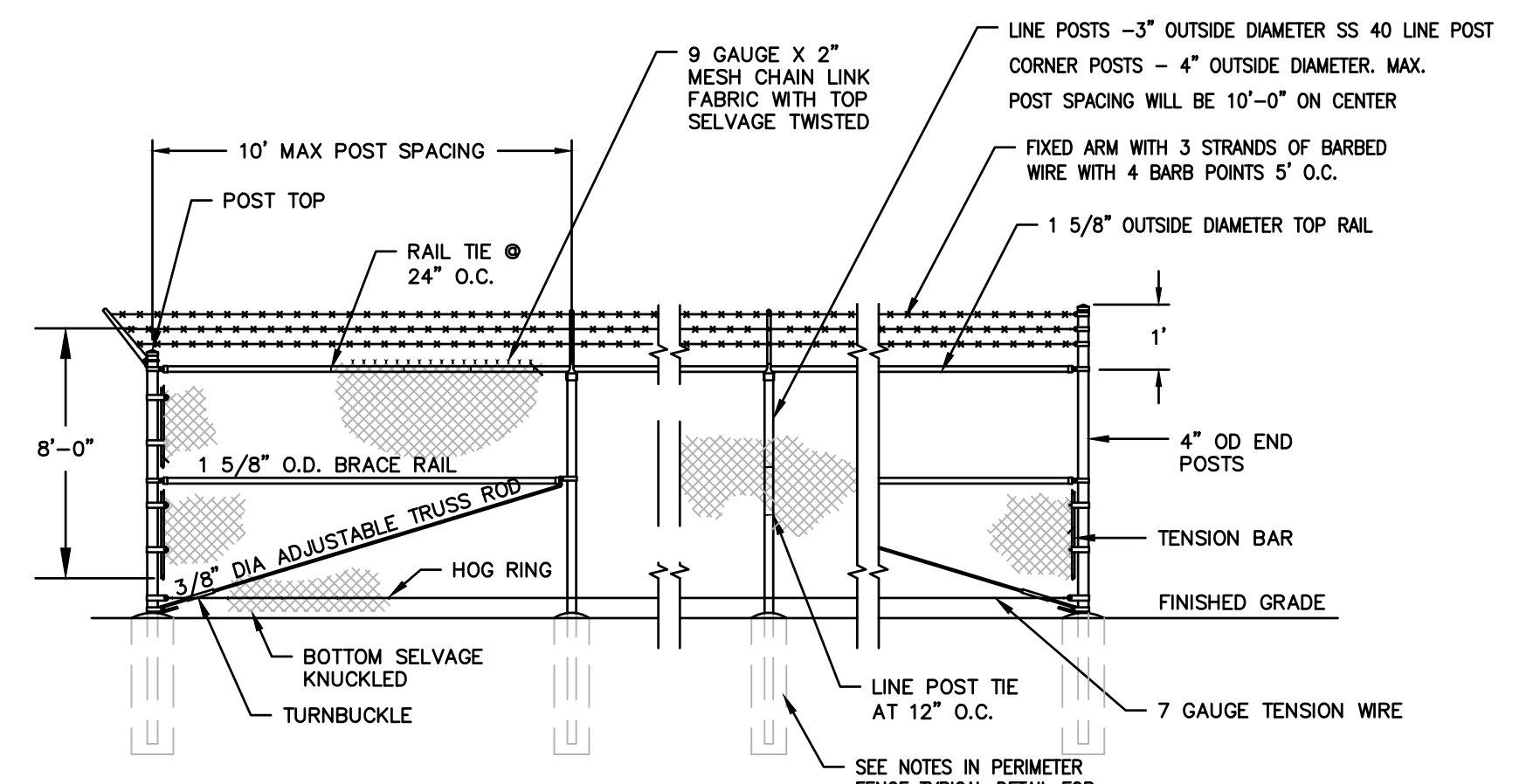
**GRAVEL PAVING DETAIL**

N.T.S.



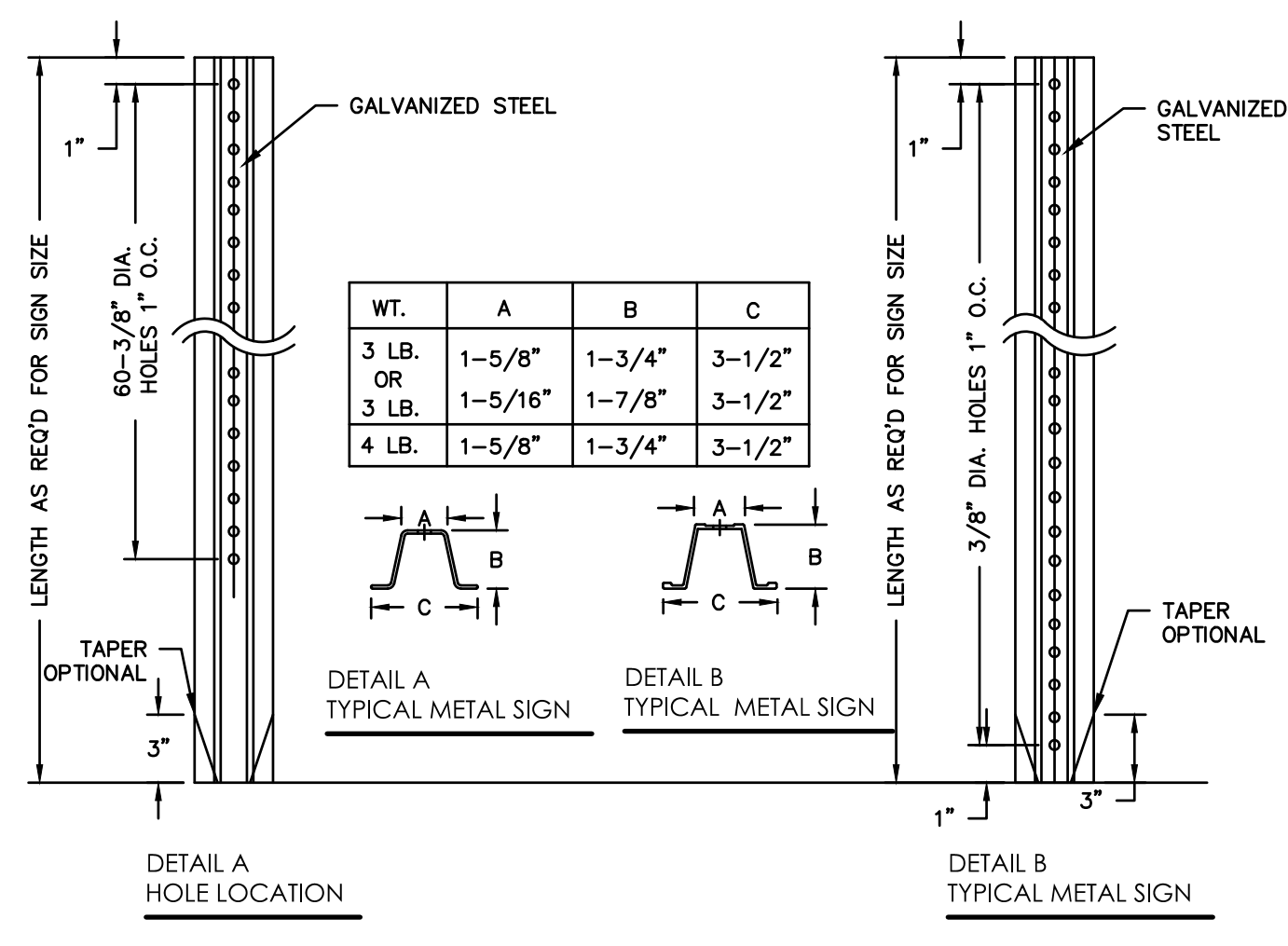
**TYPICAL LIGHT POLE AND BASE DETAIL**

N.T.S.



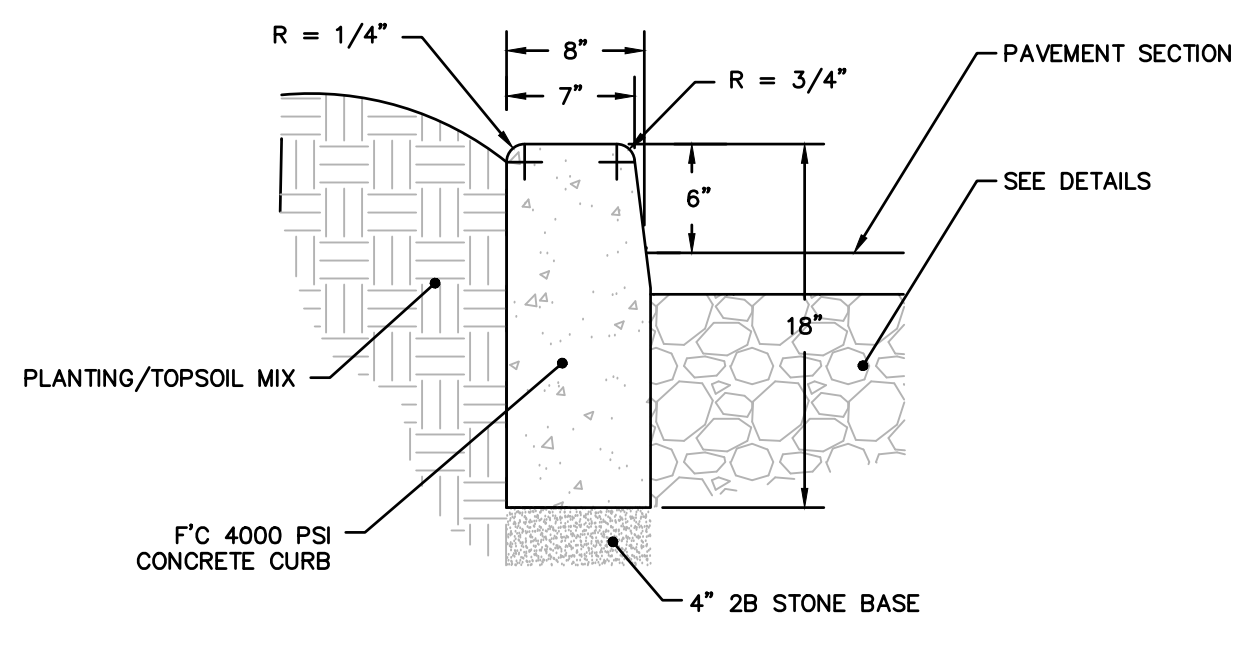
**8" BARBED WIRE CHAIN LINK FENCE**

N.T.S.



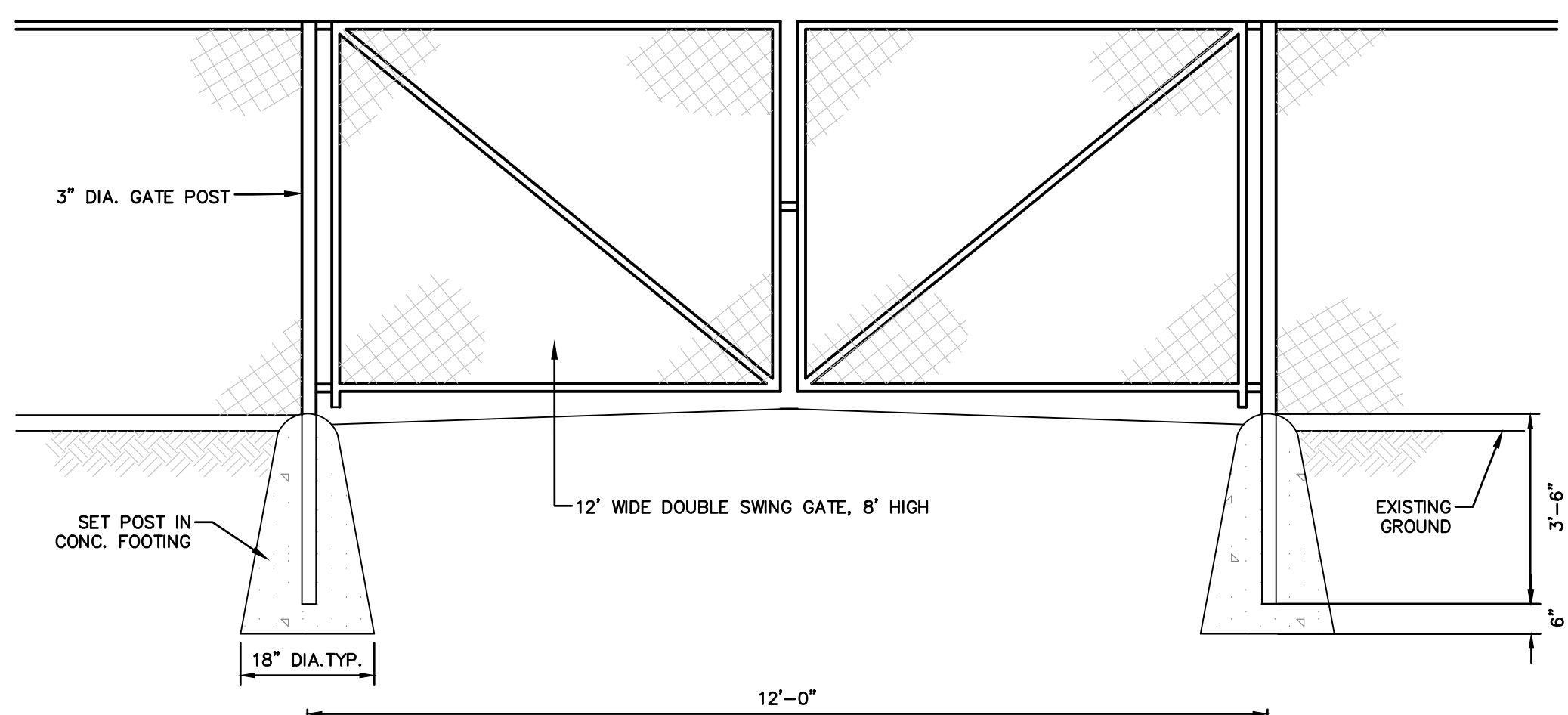
**TYPICAL METAL SIGN POST**

N.T.S.



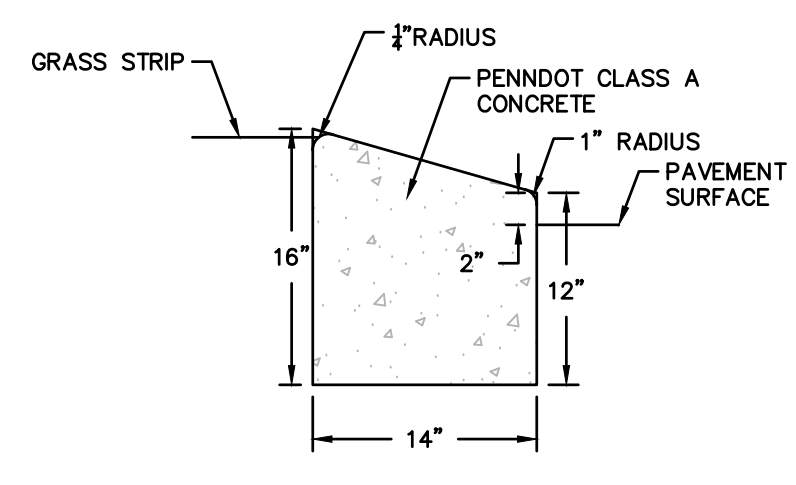
**6" REVEAL CONCRETE CURB**

N.T.S.



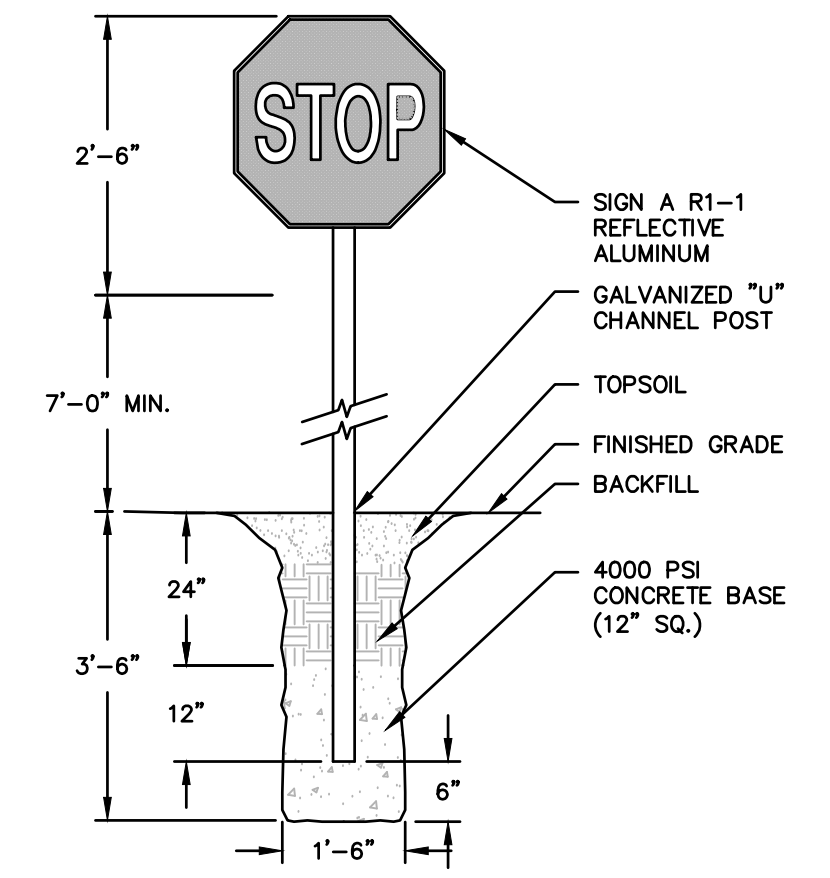
**8" HIGH CHAIN LINK FENCE GATE**

N.T.S.



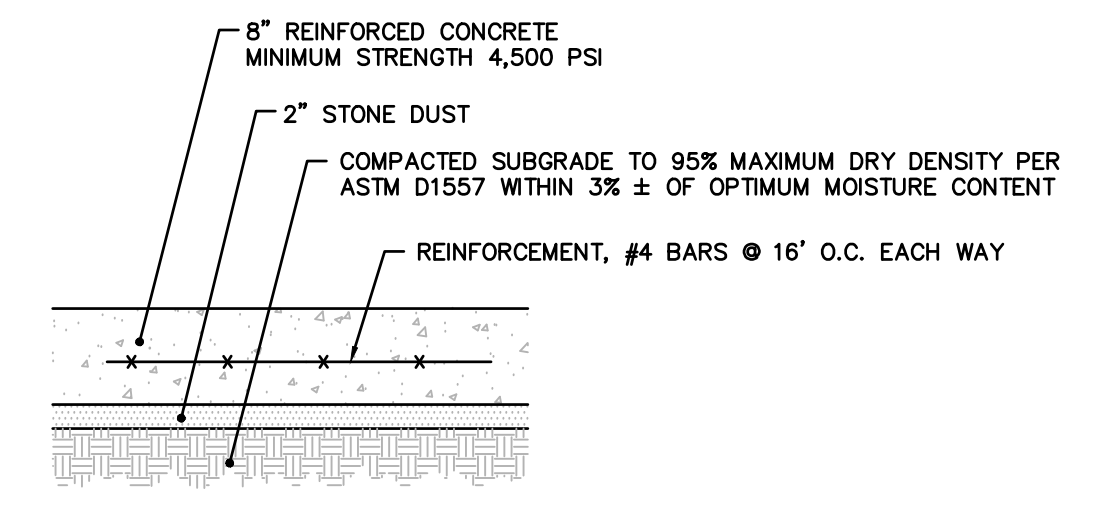
**SLANT CURB DETAIL**

N.T.S.



**STOP SIGN DETAIL**

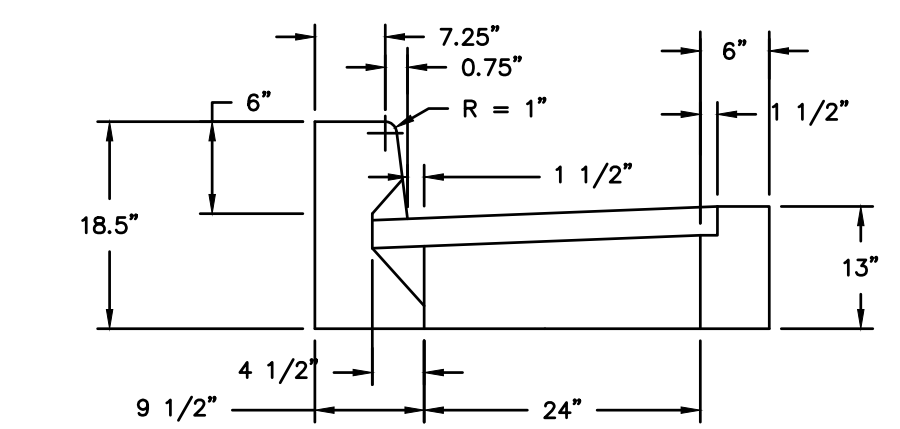
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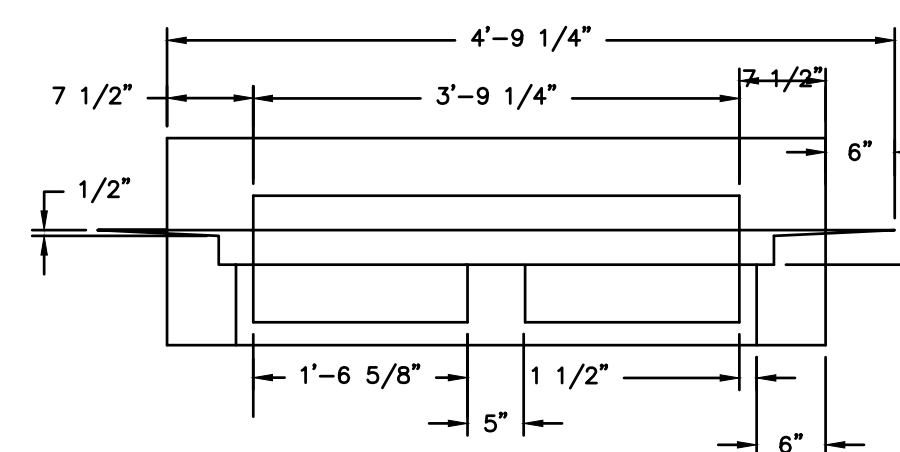
**HEAVY DUTY CONCRETE PAVING DETAIL ON-SITE**

N.T.S.

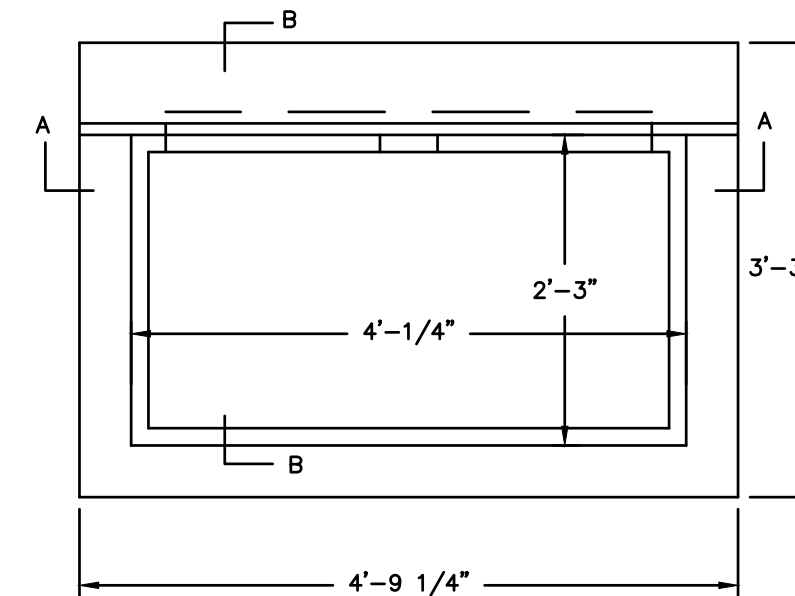




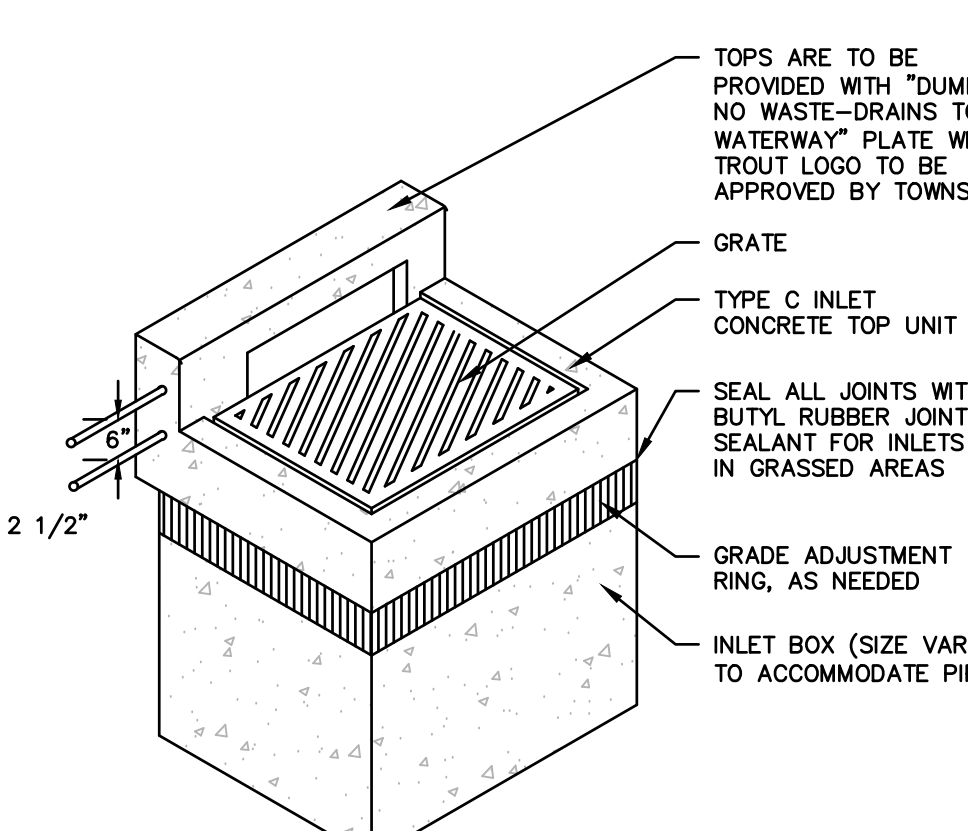
SECTION A-A



SECTION B-B

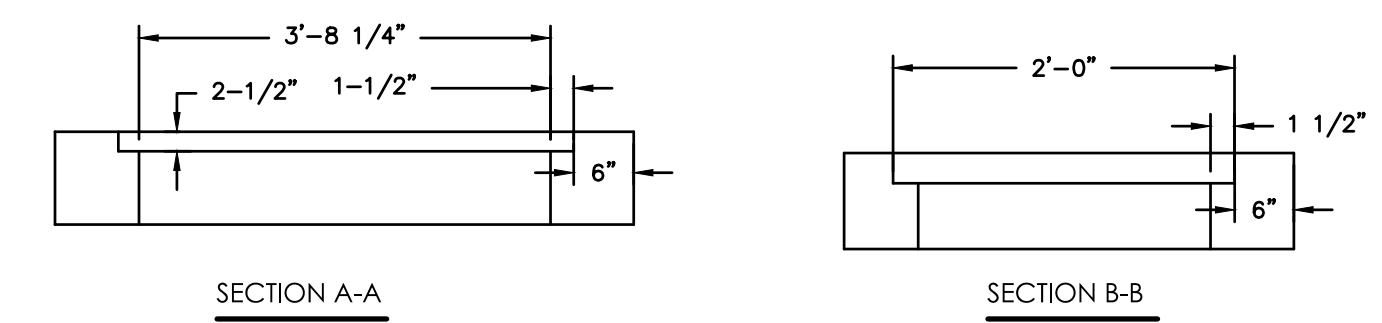


PLAN VIEW



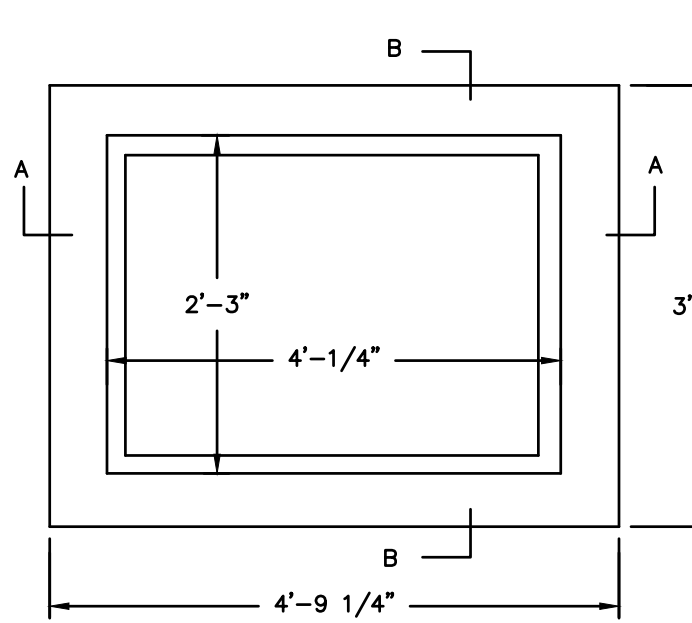
NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PENNDOT PUBLICATION 408, SECTION 605 AND STANDARDS FOR ROADWAY CONSTRUCTION, RC-45 AND RC-46. CONTRACTOR SHALL VERIFY INLET BOX SIZING BASED ON PIPE SIZES AND ALIGNMENT PRIOR TO ORDERING PRECAST STRUCTURES. THE CORNER ENTRY OF PIPES INTO INLETS IS NOT PERMITTED.
2. ALL DRAINAGE STRUCTURES SHALL HAVE POURED-IN-PLACE CONCRETE CHANNEL BOTTOMS.
3. ALL PENNDOT INLETS ARE TO BE PROVIDED WITH EITHER A PAINTED STENCILED LOGO ON THE ROADWAY OR ANOTHER ACCEPTABLE MARKING APPROVED BY SWATARA TOWNSHIP.
4. PROVIDE BICYCLE SAFE GRATE.
5. INLETS DEEPER THAN FIVE FEET SHALL BE PROVIDED WITH MANHOLE-TYPE STEPS FOR ACCESS.
6. TYPE "C" INLETS SHALL BE PROVIDED WITH 8" REVEAL TO ACCOUNT FOR 6" CURB WITH 2" INLET DEPRESSION.

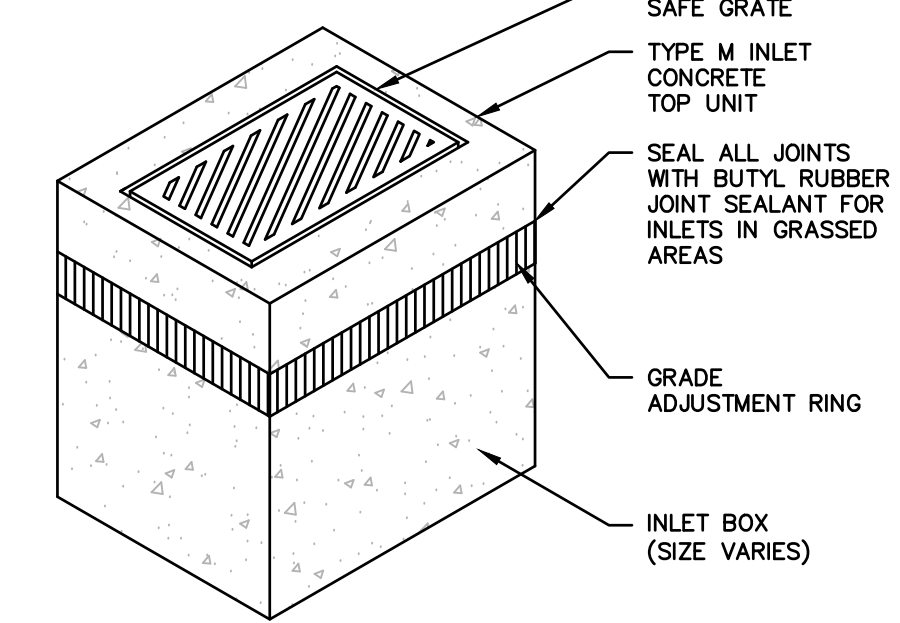


SECTION A-A

SECTION B-B



PLAN VIEW



NOTES:

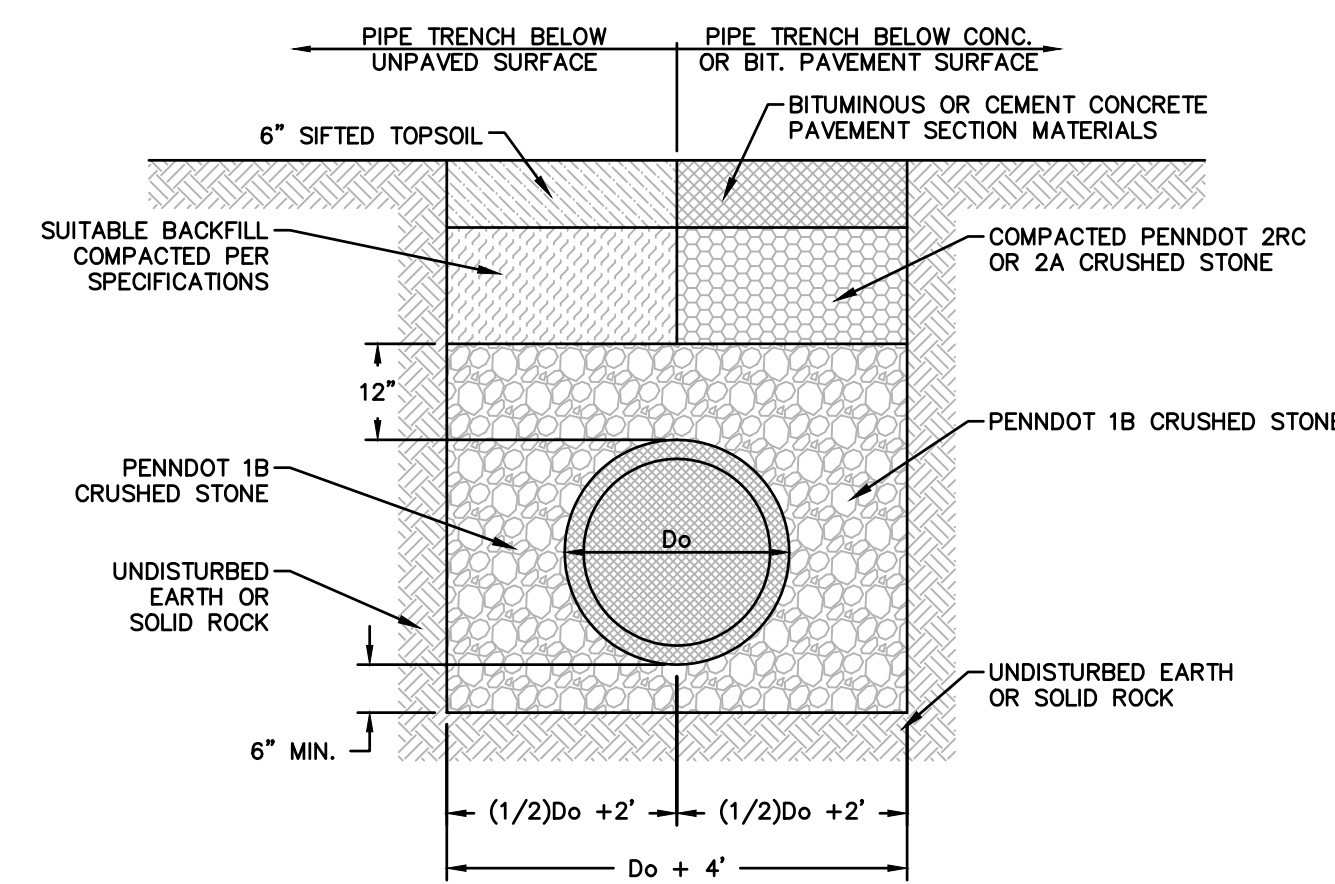
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2. ALL DRAINAGE STRUCTURES SHALL HAVE POURED-IN-PLACE CONCRETE CHANNEL BOTTOMS.
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4. INLETS DEEPER THAN FIVE FEET SHALL BE PROVIDED WITH MANHOLE-TYPE STEPS FOR ACCESS.

**TYPE "M" INLET**

N.T.S.

**TYPE "C" INLET (6" CURB)**

N.T.S.



STORM PIPE TRENCH SECTION

N.T.S.

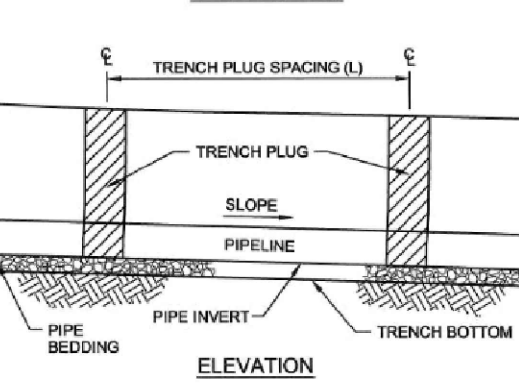
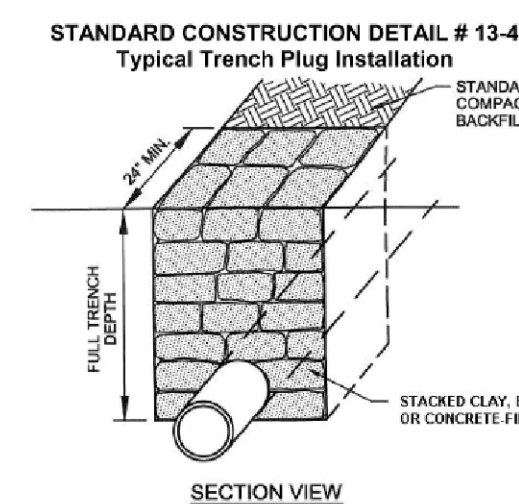


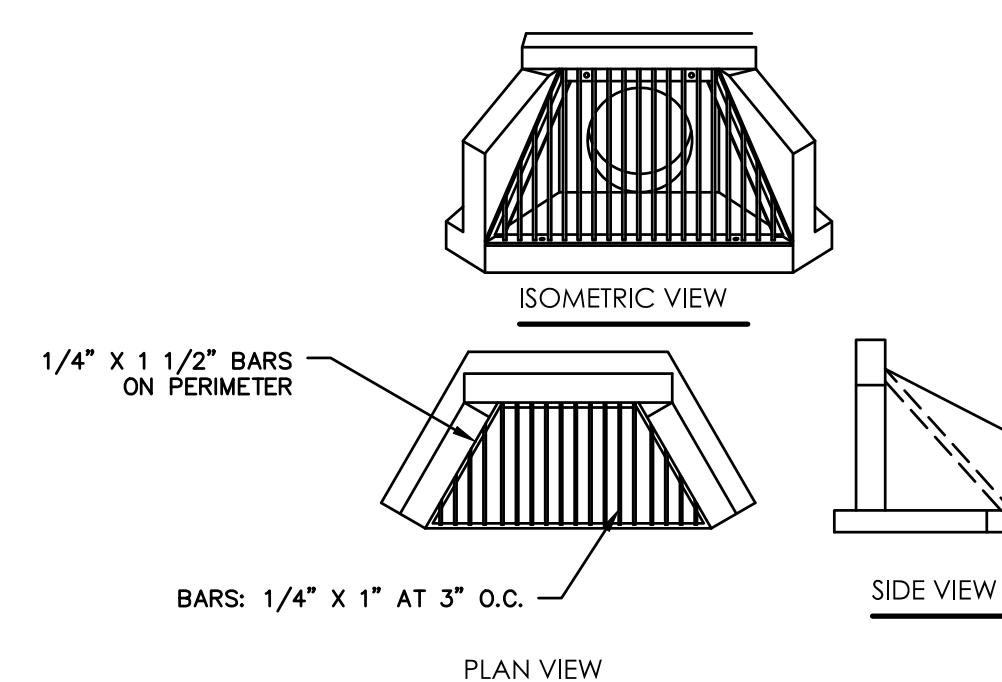
TABLE 13.1  
Maximum Spacing and Materials for Trench Plugs

| Trench Slope (%) | Spacing L (FT) | Plug Material                                     |
|------------------|----------------|---|
| < 5              | 1,000          | * Clay, Bentonite, or Concrete Filled Sacks       |
| 5 - 15           | 500            | * Clay, Bentonite, or Concrete Filled Sacks       |
| 15 - 25          | 200            | * Clay, Bentonite, or Concrete Filled Sacks       |
| 25 - 35          | 200            | * Clay, Bentonite, or Concrete Filled Sacks       |
| 35 - 100         | 100            | * Clay, Bentonite, or Concrete Filled Sacks       |
| > 100            | 50             | * Cement Filled Bags (Vibrated) or Mortared Stone |

\*TOPSOIL MAY NOT BE USED TO FILL SACKS.

Impervious trench plugs are required for all stream, river, wetland, or other water body crossings.

NOTES:  
200 FT SPACING TO BE USED ALONG PIPES AND BEHIND ALL ENDWALLS.

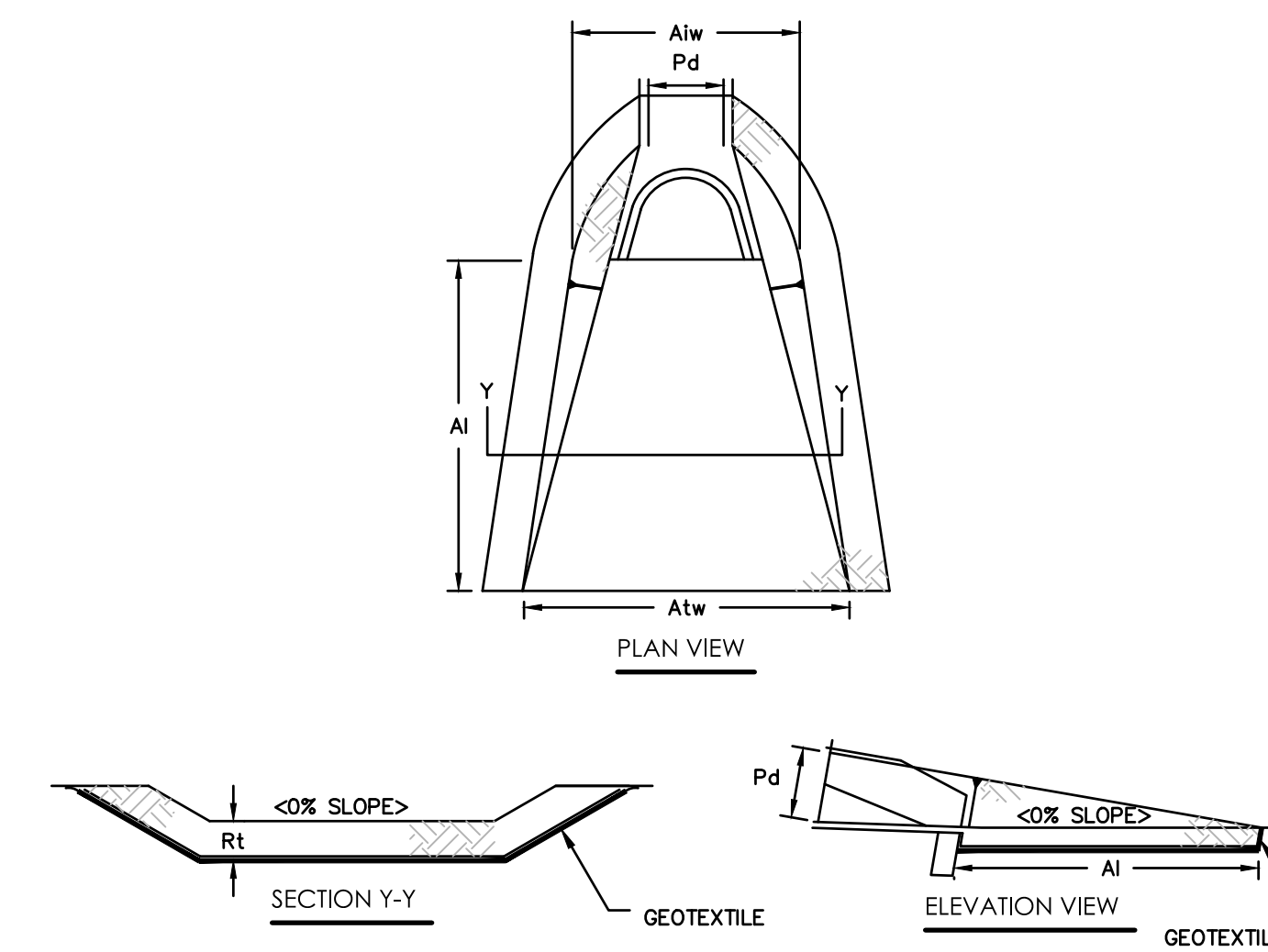


NOTES:

1. TRASH SCREEN MATERIAL TO BE HOT DIPPED GALVANIZED STEEL.
2. ATTACH TRASH SCREEN TO HEADWALL WITH 3/8" DIA. S.S. ANCHOR BOLTS.
3. HINGED VERSION AVAILABLE.

**TYPE DW ENDWALL WITH TRASH SCREEN**

N.T.S.



| OUTLET NO. | PIPE DIA Pd (IN) | RIPRAP       |                | APRON          |                        |                        |
|------------|------------------|--------------|----------------|----------------|------------------------|------------------------|
|            |                  | SIZE (R-...) | THICK. Rt (IN) | LENGTH Al (FT) | INITIAL WIDTH Atw (FT) | TERMINAL WIDTH At (FT) |
| EW-1.1     | 18               | R-4          | 18             | 13             | 4.50                   | 9.7                    |
| EW-2.1     | 24               | R-4          | 18             | 36             | 6                      | 20.4                   |

ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.

ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

**RIPRAP APRON AT PIPE OUTLET WITH FLARED END SECTION OR ENDWALL DETAIL**

N.T.S.

PAEC-9-1

**LEGEND**

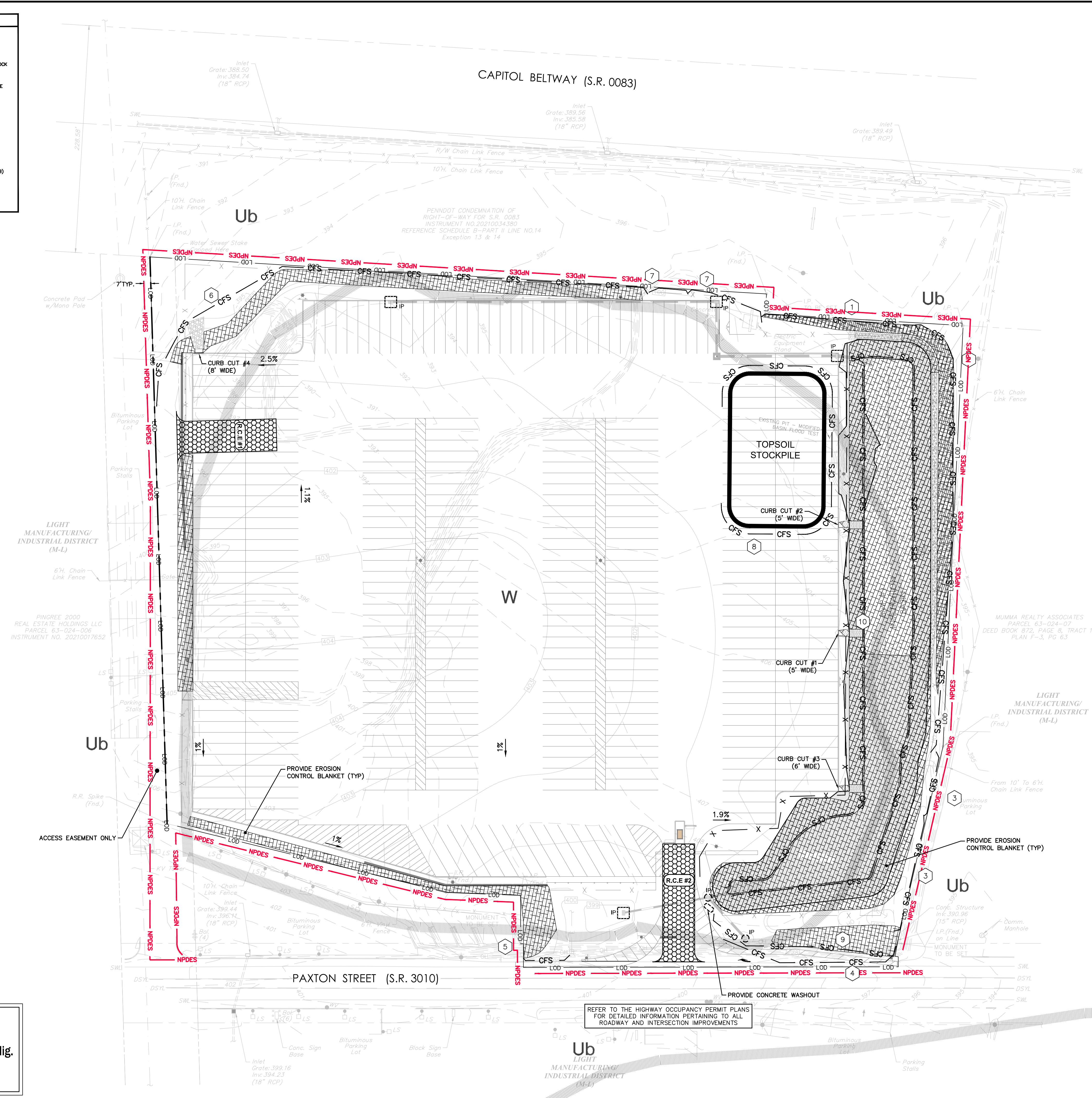
|           |  |
|-----------|--|
| — LOD     | LIMITS OF DISTURBANCE                                |
| —         | PROPERTY LINE  |
| — CFS     | PROPOSED COMPOST FILTER SOCK                         |
| [Pattern] | ROCK CONSTRUCTION ENTRANCE                           |
| [Pattern] | MATERIAL STOCKPILE                                   |
| [Symbol]  | INLET PROTECTION                                     |
| [Symbol]  | CONCRETE WASHOUT                                     |
| [Pattern] | EROSION CONTROL BLANKET (EAST COAST EROSION, ECS-18) |
| —         | SOIL BOUNDARY  |
| BeC       | SOIL LABELS  |

**COMPOST FILTER SOCK TABLE**

| SOCK NO. | DIA. (in) | LOCATION                                 |
|----------|-----------|--|
| 1        | 24        | North of Basin                           |
| 2        | 24        | Along East Side of Basin                 |
| 3        | 12        | Along Southeast Side of Basin            |
| 4        | 12        | South of Basin                           |
| 5        | 12        | Along Paxton Street                      |
| 6        | 18        | Along Northwest Corner of Site           |
| 7        | 24        | Along North Side of Site                 |
| 8        | 32        | Around Soil Stockpile                    |
| 9        | 32        | Along Paxton Street on East Side of Site |
| 10       | 12        | Around Basin                             |

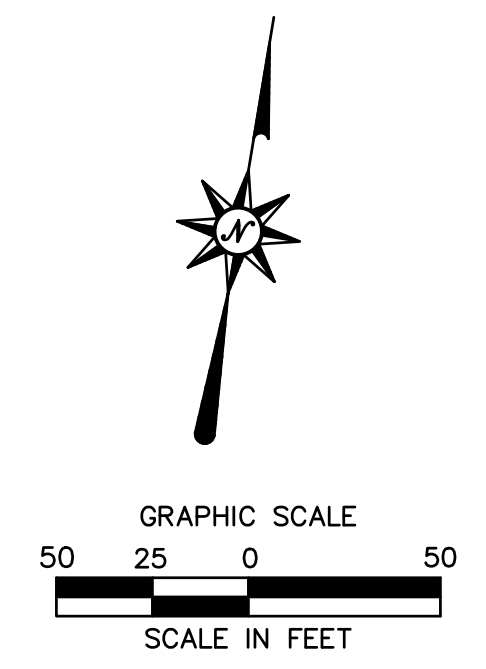
**SOILS**

| SYMBOL | DESCRIPTION                                  | HYDROLOGIC SOIL GROUP |
|--------|--|-----------------------|
| W      | Water (Note: reclaimed quarry, stone/gravel) | N/A                   |
| Ub     | Urban land, limestone materials              | N/A                   |



PENNSYLVANIA ACT 287 (1974) AS AMENDED BY PENNSYLVANIA ACT 199 (2004) REQUIRES NO LESS THAN THREE (3) WORKING DAYS AND NO MORE THAN (10) WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH. PA ONE-CALL SERIAL NO. 20230271741

EROSION AND SEDIMENT CONTROL PLANS ARE INCLUDED FOR INFORMATIONAL PURPOSES. ONLY REFER TO APPROVED NPDES PERMIT PLANS FOR CONSTRUCTION REQUIREMENTS



**PRELIMINARY/FINAL LAND DEVELOPMENT PLAN  
PROPOSED TRAILER DROP LOT**  
2224 PAXTON STREET  
SWATARA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA



2601 Market Place  
Suite 350  
Harrisburg, PA 17110  
(717) 943-1665

**REVISIONS**

| No. | Date     | Desc.                    |
|-----|----------|--------------------------|
| 1   | 02/16/24 | AS PER TOWNSHIP COMMENTS |

Designed: G.J.H.  
Drawn: J.R.J.  
Reviewed: A.J.B.  
Scale: 1" = 50'  
Project No.: 2300182  
Date: 9/22/2023  
CAD File: EC230018201

Title: **EROSION & SEDIMENT CONTROL PLAN**

Sheet No. \_\_\_\_\_

**EC-1**  
No. 13 of 16

STANDARD E&S NOTES

- 1. ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN...
2. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES...
3. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.

DAUPHIN COUNTY CONSERVATION DISTRICT
1451 PETERS MOUNTAIN ROAD
DAUPHIN, PENNSYLVANIA 17018
PHONE: (717) 921-8100

MULCHING

MULCHES SHOULD BE APPLIED AT THE RATES SHOWN IN TABLE 11.6
STRAW AND HAY MULCH SHOULD BE ANCHORED OR TACKIFIED IMMEDIATELY AFTER APPLICATION TO PREVENT BEING WINDBLOWN...
POLYMERIC AND GUM TACKIFIERS MIXED AND APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS MAY BE USED TO TACK MULCH.

TABLE 11.6
MULCH APPLICATION RATES
Table with columns: MULCH TYPE, APPLICATION RATE (MIN.), NOTES

MAINTENANCE PROGRAM

THE FOLLOWING INSPECTION AND MAINTENANCE PRACTICES WILL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROLS AND STABILIZATION MEASURES:

- 1. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED ONCE EVERY SEVEN DAYS AND AFTER EACH RUNOFF EVENT...
2. ALL TEMPORARY SEDIMENT CONTROLS SHALL BE CLEANED AND REMOVED AT THE END OF CONSTRUCTION...
3. PERIMETER BMPs WILL BE INSPECTED FOR DEPTH OF SEDIMENT, DAMAGE, ETC., TO ENSURE THE MEASURE IS IN PROPER WORKING ORDER...

TEMPORARY SEEDING FOR SOIL STABILIZATION

Table with columns: SEEDING MIXTURE TYPE I (TOPSOIL STOCKPILES) SPECIES, ANNUAL RYEGRASS (70%), PERENNIAL RYEGRASS (30%), % PURE LIVE SEED, APPLICATION RATE, FERTILIZER TYPE, FERT. APPLICATION RATE, LIMING RATE, MULCH TYPE, MULCH RATE, ANCHOR MATERIAL, ANCHORING METHOD, ANCHORING RATE OF APPLICATION, SEEDING DATE.

SEED MIX NOTES

- A. LAWN SEEDING MIX: 15% PERENNIAL RYEGRASS (BLEND OF 3 IMPROVED HYBRIDS), 25% FINE LEAF OR CREEPING FESCUE (BLEND OF 3 IMPROVED HYBRIDS), 60% KENTUCKY BLUEGRASS (BLEND OF 3 IMPROVED HYBRIDS)...
B. SLOPE SEED MIX: ERNM-113 - COMMERCIAL CONSERVATION MIX, ERNST SEEDS OR APPROVED EQUAL...
C. BASIN SEED MIX: ERNM-183 - NATIVE DETENTION AREA SEED MIX, ERNST SEEDS OR APPROVED EQUAL...

LIME AND FERTILIZER APPLICATION DATES

TABLE 11.2
SOIL AMENDMENT APPLICATION RATE EQUIVALENTS
Table with columns: SOIL AMENDMENT, PERMANENT SEEDING APPLICATION RATE, TEMPORARY SEEDING APPLICATION RATE, NOTES

COMMERCIAL FERTILIZER

CONFORMING TO THE REQUIREMENTS OF THE PENNSYLVANIA SOIL CONDITIONER AND PLANT GROWTH SUBSTANCE LAW, ACT OF DECEMBER 1, 1977, P.L. 258, NO. 86 (3P.5.6.8.2), AS AMENDED...
USE DRY FORMULATIONS OF 20-10-5 AND 16-8-16 ANALYSIS CONTROLLED RELEASE FOR TREE, SHRUB, AND VINE TYPE PLANTING OPERATIONS.

SOIL LIMITATIONS AND RESOLUTIONS

UB: URBAN LAND, LIMESTONE MATERIALS, 3 TO 5 PERCENT SLOPES
THE URBAN SERIES CONSISTS OF PAVEMENT, BUILDINGS AND OTHER ARTIFICIALLY CONVERTED AREAS...
DUE TO RECENT FILL ACTIVITIES, LIMITATIONS MAY VARY. SOME POTENTIAL LIMITATIONS ARE THE FOLLOWING: CUTOBKANS, CAVE, CORROSION OF UNCOATED STEEL AND CONCRETE, DROUGHT, EASILY ERODIBLE, DEPTH TO SATURATED ZONE/ SEASONAL HIGH WATER TABLE, HYDRIC/HYDRIC INCLUSIONS, LOW STRENGTH/ LANDSLIDE PRONE, SLOW PERCOLATION, PIPING, POOR SOURCE OF TOPSOIL, FROST ACTION, AND WETNESS.

- RESOLUTIONS TO THESE LIMITATIONS WILL INCLUDE THE FOLLOWING:
EXCAVATION WILL BE PROPERLY SUPPORTED BY SHEETING AND SHORING TO PREVENT CAVES.
NO UNPROTECTED STEEL IS EXPECTED TO BE IN DIRECT CONTACT WITH SOILS.
NO WETLANDS ARE PRESENT IN THE DEVELOPMENT AREA.

SEQUENCE OF CONSTRUCTION

- UNDERLINED PORTIONS OF THE SEQUENCE OF CONSTRUCTION INDICATE THAT THIS SECTION IS A CRITICAL STAGE OF PCSM INSTALLATION TO BE OBSERVED BY A LICENSED PROFESSIONAL OR DESIGNER...
1. SCHEDULE WORK TO MINIMIZE THE LENGTH OF TIME THAT BARE SOIL WILL BE EXPOSED TO THE ELEMENTS.
2. FOLLOW THE CONSTRUCTION/EROSION CONTROL IMPLEMENTATION PLAN AS OUTLINED ON THE DRAWINGS.

EROSION AND SEDIMENT CONTROL PLANS ARE INCLUDED FOR INFORMATIONAL PURPOSES, ONLY REFER TO APPROVED NPDES PERMIT PLANS FOR CONSTRUCTION REQUIREMENTS



2601 Market Place
Suite 350
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PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
PROPOSED TRAILER DROP LOT
2224 PAXTON STREET
SWATARA TOWNSHIP, DAUPHIN COUNTY, PENNSYLVANIA

REVISED:
Date: 02/16/24
As PER TOWNSHIP COMMENTS

Designed: G.J.H.
Drawn: J.R.J.
Reviewed: A.J.B.
Scale: 1" = 50'
Project No.: 2300182
Date: 9/22/2023

CAD File: EC-EC230018202
Title: EROSION & SEDIMENT CONTROL DETAILS

Sheet No. No. 14 of 16

EC-2
No. 14 of 16



REVISIONS

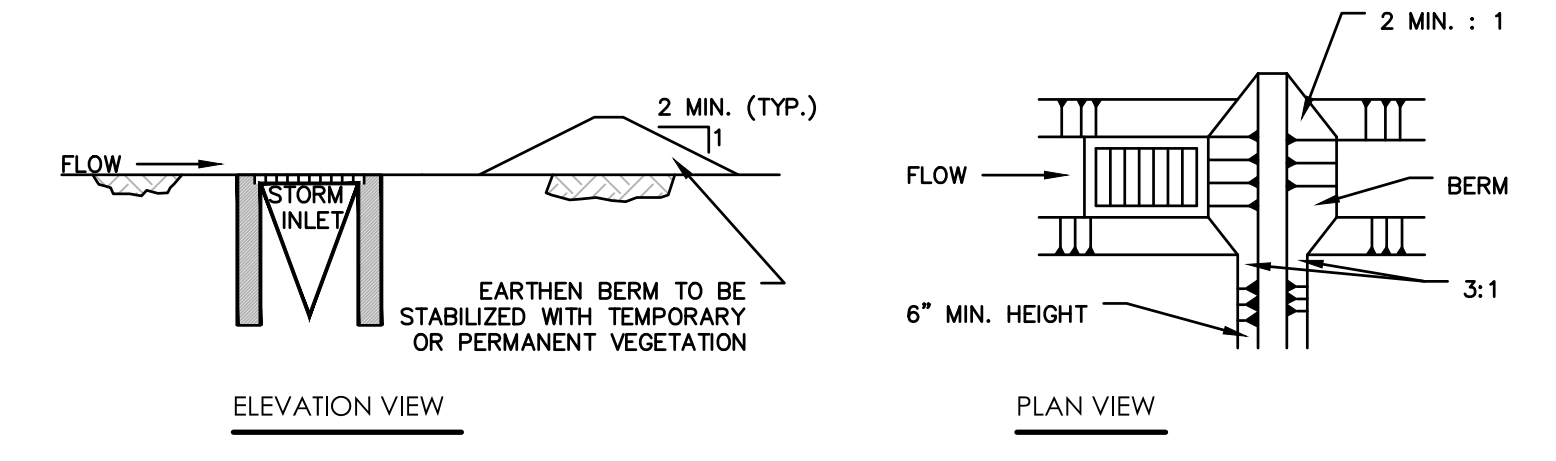
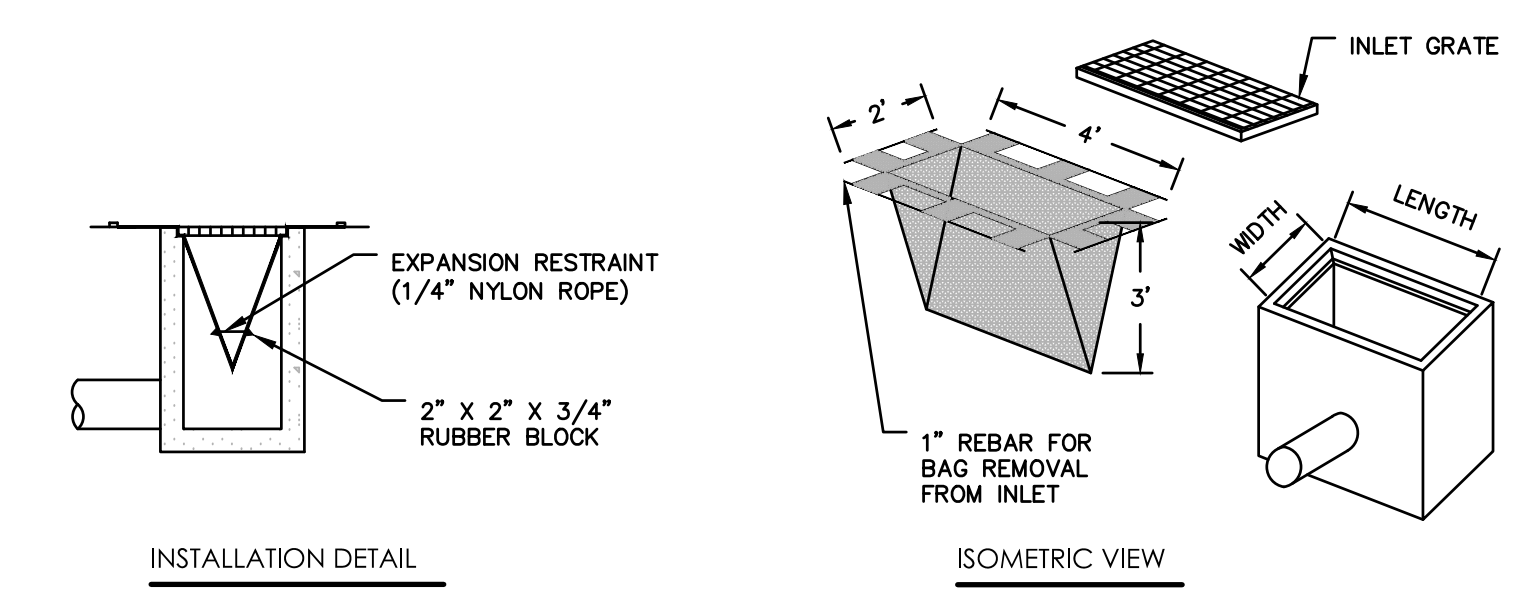
| No. | Date     | Desc.                    |
|-----|----------|--------------------------|
| 1   | 02/16/24 | AS PER TOWNSHIP COMMENTS |

|             |                |
|-------------|----------------|
| Designed    | G.J.H.         |
| Drawn       | J.R.J.         |
| Reviewed    | A.J.B.         |
| Scale       | 1" = 50'       |
| Project No. | 2300182        |
| Date        | 9/22/2023      |
| CAD File:   | EC-EC230018202 |

Title  
**EROSION & SEDIMENT CONTROL DETAILS**

Sheet No.

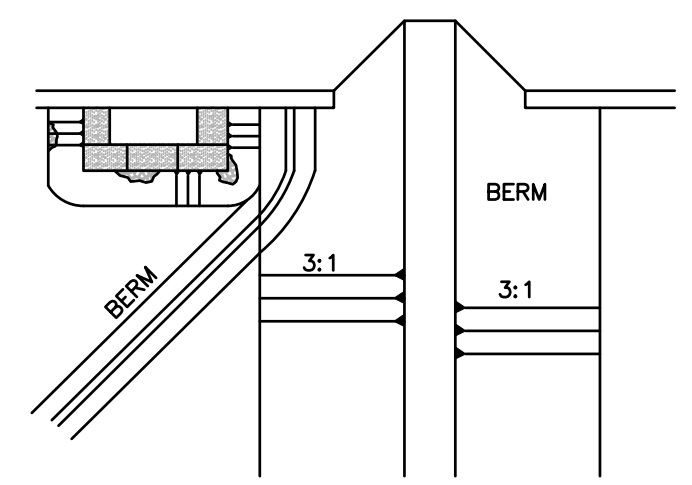
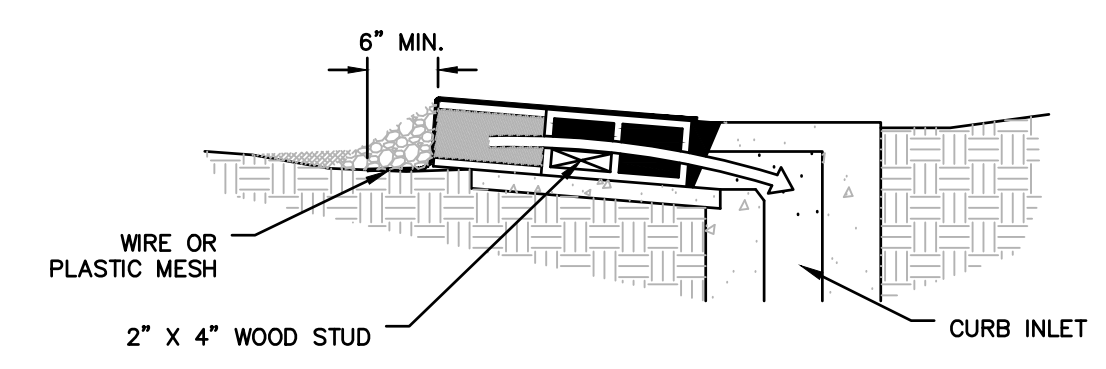
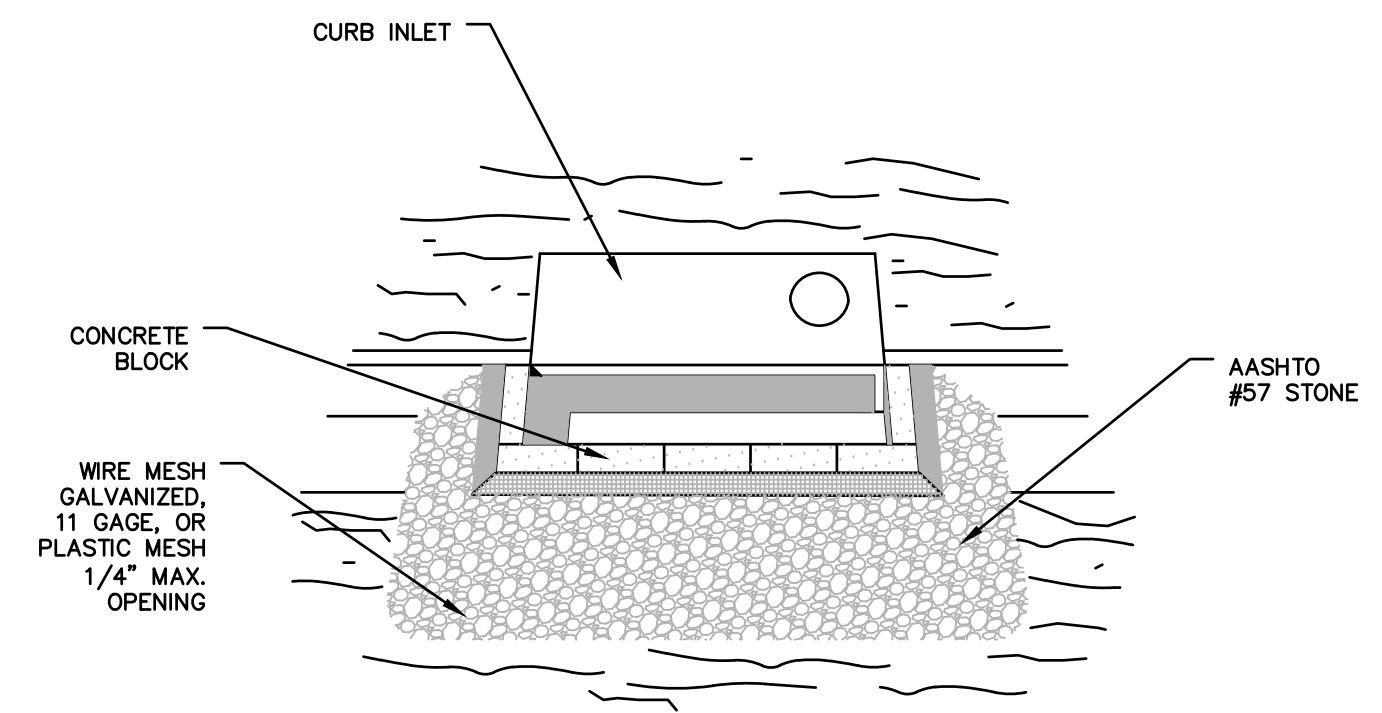
**EC-4**  
No. 16 of 16



MAXIMUM DRAINAGE AREA = 1/2 ACRE.  
INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.  
ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.  
AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS. A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.  
INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.  
DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

**FILTER BAG INLET PROTECTION - TYPE M INLET DETAIL**

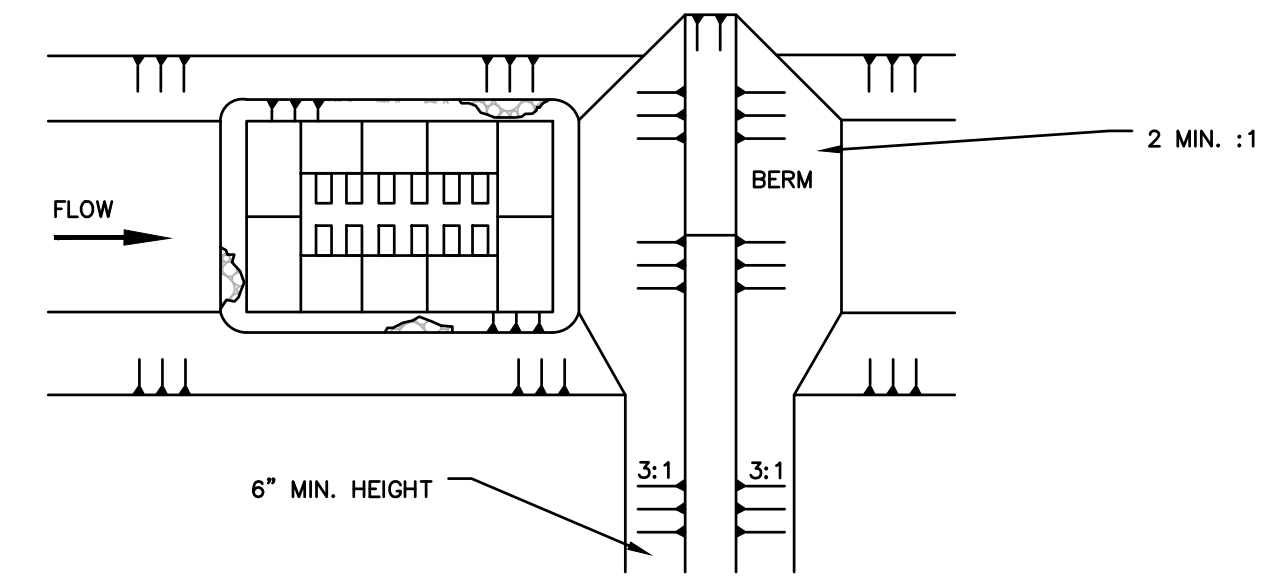
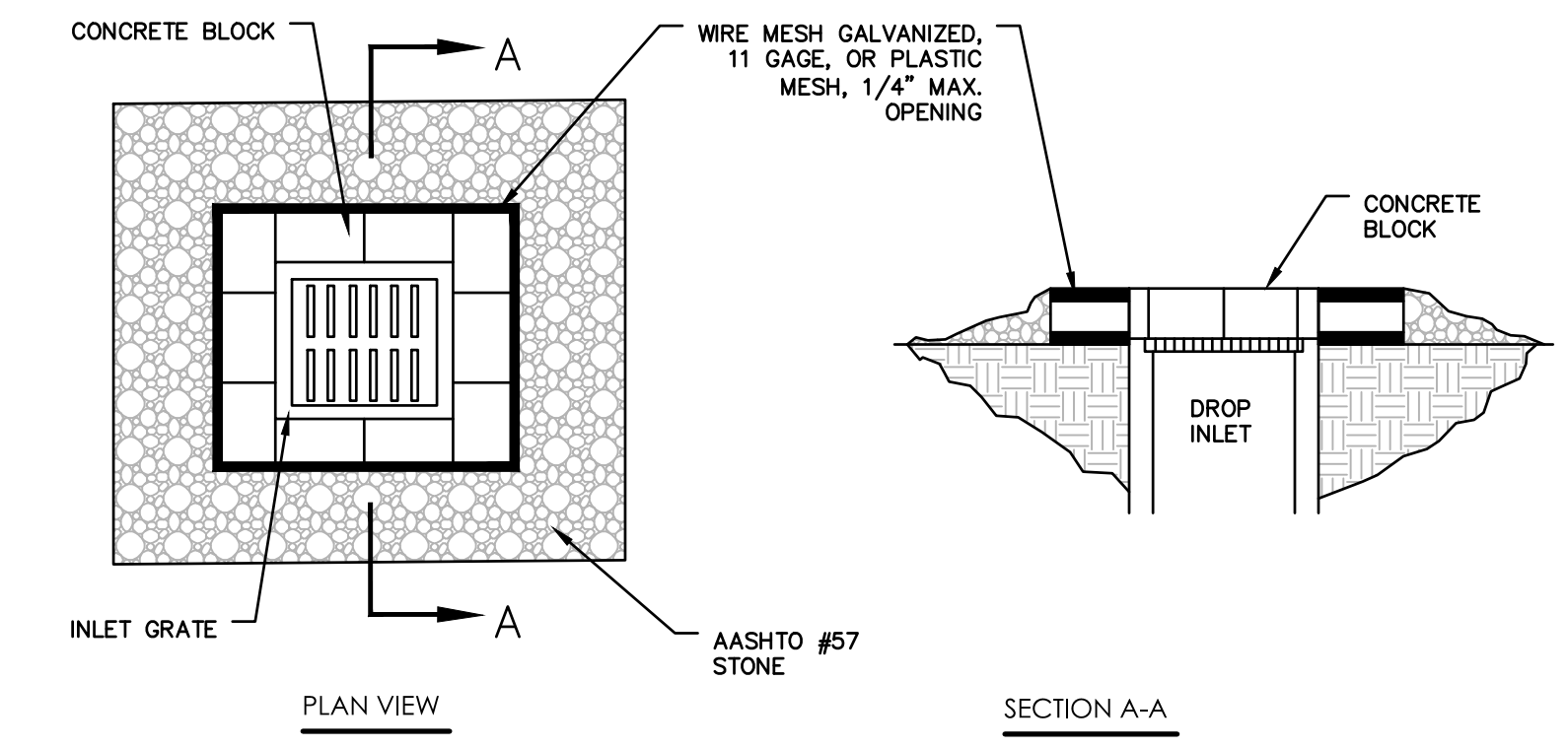
N.T.S. PADEP-4-16



MAXIMUM DRAINAGE AREA = 1 ACRE.  
INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.  
ROLLED EARTHEN BERM SHALL BE PROVIDED AND MAINTAINED IMMEDIATELY DOWN GRADIENT OF THE PROTECTED INLET UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.  
SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE STONE. DAMAGED OR CLOGGED INSTALLATIONS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.  
FOR SYSTEMS DISCHARGING TO HQ OR EV SURFACE WATER, A 6 INCH THICK COMPOST LAYER SHALL BE SECURELY ANCHORED ON OUTSIDE AND OVER TOP OF STONE.  
DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

**STONE AND CONCRETE BLOCK INLET PROTECTION - TYPE C INLET DETAIL**

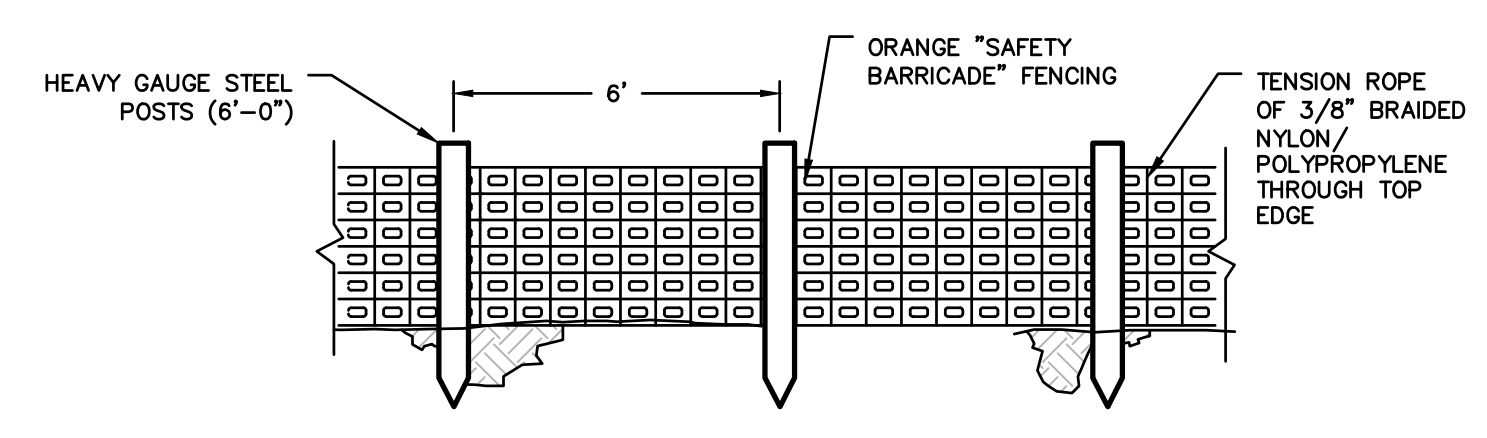
N.T.S. PADEP-4-17



MAXIMUM DRAINAGE AREA = 1 ACRE.  
INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS NOT LOCATED AT A LOW POINT.  
ROLLED EARTHEN BERM IN ROADWAY SHALL BE PROVIDED AND MAINTAINED IMMEDIATELY DOWN GRADIENT OF THE PROTECTED INLET UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR TO REMAIN PERMANENTLY.  
TOP OF BLOCK SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS IF PONDING WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC.  
SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE HEIGHT OF THE STONE. DAMAGED OR CLOGGED INSTALLATIONS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.  
FOR SYSTEMS DISCHARGING TO HQ OR EV SURFACE WATER, A 6 INCH THICK COMPOST LAYER SHALL BE SECURELY ANCHORED ON OUTSIDE AND OVER TOP OF STONE. COMPOST SHALL MEET THE STANDARDS IN TABLE 4.2.

**STONE AND CONCRETE BLOCK INLET PROTECTION - TYPE M INLET DETAIL**

N.T.S. EROSION AND SEDIMENT CONTROL PLANS ARE INCLUDED FOR INFORMATIONAL PURPOSES. ONLY REFER TO APPROVED NPDES PERMIT PLANS FOR CONSTRUCTION REQUIREMENTS.



**TEMPORARY CONSTRUCTION FENCE**

N.T.S.